

LEGAL DESCRIPTION

FINAL DEVELOPMENT PLAN 2:
SUBDIVISION PLAT OF LOT 1, BLOCK 13, SUPERIOR TOWN CENTER FILING NO. 18

FINAL DEVELOPMENT PLAN 3:
SUBDIVISION PLAT OF LOT 1, BLOCK 25, DISCOVERY OFFICE PARK/SUPERIOR TOWN CENTER REPLAT

**SUPERIOR TOWN CENTER
FINAL DEVELOPMENT PLAN 2 (BLOCK 13) &
FINAL DEVELOPMENT PLAN 3 PHASE 1 (PARTIAL BLOCK 25)**

SHEET INDEX

1. Cover	CS1.0
2. Contest Site Plan	CS1.1
3. Overall Site Plan	C1.0
4. Partial Site Plan 1	C1.1
5. Partial Site Plan 2	C1.2
6. Partial Site Plan 3	C1.3
7. Lane Access, Fire and Hydrant Exhibit	C1.4
8. Overall Utility Plan	C2.0
9. Partial Utility Plan 1	C2.1
10. Partial Utility Plan 2	C2.2
11. Partial Utility Plan 3	C2.3
12. Overall Drainage Plan	C3.0
13. Partial Drainage Plan 1	C3.1
14. Partial Drainage Plan 2	C3.2
15. Partial Drainage Plan 3	C3.3
16. Overall Landscape Plan	L1.0
17. Landscape Plan 1	L1.1
18. Landscape Plan 2	L1.2
19. Landscape Plan 3	L1.3
20. Plant List and Notes	L2.0
21. Landscape Materials, Finishes and Character Imagery	L2.1
22. Overall Irrigation Plan	IR1.0
23. Partial Irrigation Plan 1	IR1.1
24. Partial Irrigation Plan 2	IR1.2
25. Partial Irrigation Plan 3	IR1.3
26. Overall Site Lighting Plan	LT1.0
27. Partial Lighting Plan - 1	LT1.1
28. Partial Lighting Plan - 2	LT1.2
29. Partial Lighting Plan - 3	LT1.3
30. Lighting Details	LT1.4
31. Lighting Details	LT1.5
32. Wonderland Homes Site Plan	AW.01
33. Wonderland: Building Type 3A Front Elevation	AW.02
34. Wonderland: Building Type 3A Side Elevations	AW.03
35. Wonderland: Building Type 3A Rear Elevation	AW.04
36. Wonderland: Building Type 3B Front Elevation	AW.05
37. Wonderland: Building Type 3B Side Elevations	AW.06
38. Wonderland: Building Type 3A Rear Elevation	AW.07
39. Wonderland: Building Type 4 Front Elevation	AW.08
40. Wonderland: Building Type 4 Side Elevations	AW.09
41. Wonderland: Building Type 4 Rear Elevation	AW.10
42. Wonderland: Building Type 5 Front Elevation	AW.11
43. Wonderland: Building Type 5 Side Elevations	AW.12
44. Wonderland: Building Type 5 Rear Elevation	AW.13
45. Wonderland: Color Schemes	AW.14
46. Remington: Remington Urban Villa Site Plan	AR.01
47. Remington: Building Elevations 6 Unit Building	AR.2
48. Remington: Building Elevations 6 Unit Building	AR.2.2
49. Remington: Remington SF Site Plan And Plotting	AD.0.1
50. Remington: Plan One Front Elevations	AD.1.1
51. Remington: Plan Two Front Elevations	AD.2.1
52. Remington: Plan Three Front Elevations	AD.3.1
53. Remington: Color And Material Schemes-1	AD.4.1
54. Remington: Color And Material Schemes-2	AD.4.2

SIGNATURE BLOCKS

CERTIFICATE OF OWNERSHIP - RC SUPERIOR, LLC, a Delaware limited liability company
By: Superior Town Center ASLI VII Holdings, LLC, a Delaware limited liability company, its sole Member
By: Avanti Strategic Land Investors VII, L.L.P., a Delaware limited liability limited partnership, its sole Member
By: Avanti Properties Group II, L.L.P., a Delaware limited liability limited partnership, its Managing General Partner
By: Avanti Management Corporation, a Florida corporation, its sole General Partner

BOARD OF TRUSTEES CERTIFICATE:
Approved by the Board of Trustees of the Town of Superior, State of Colorado. Witness my hand and the corporate seal of the Town of Superior on the 15th day of August 2016.

Janet R. Morales Mayor

PLANNING COMMISSION CERTIFICATE:
Recommended approved this 7th day of June 2016 by the Town of Superior Planning Commission, Resolution No. PC-9 Series 2016

TOWN CLERK CERTIFICATE

I certify that this instrument as approved by (Resolution/Ordinance) No. R-38 Series 2016, was filed in my office on the 16th day of August 2016 at 10:00 o'clock am/pm.

Witness my hand the corporate seal of the Town of Superior on the day of August 2016.

Janet R. Morales Town Clerk

I certify that RC Superior, LLC, am the sole owner of the property and consent to this plan.

Executed this 16 day of August 2016

Owners Mortgages or Lien Holders

STATE of Florida

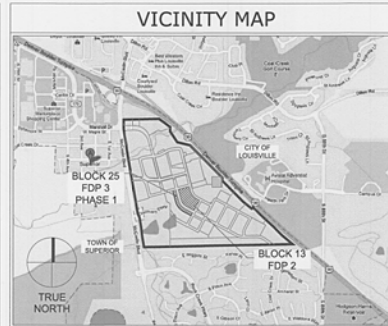
County of Orange

The foregoing certificate of ownership was acknowledged before me this 16 day of August 2016 by Andrew DuBill, Vice President

My commission expires: May 28, 2019 Janet R. Morales



Notary Public



DEVELOPER
RC SUPERIOR, LLC
BILL JENCKS
VICE PRESIDENT OF REAL ESTATE
12071 E. CAMINO REAL, SUITE 110
SANTA ANA, CALIFORNIA 92705
949-465-3643
BLJENCK@RCANONCAPITAL.COM

ENGINEER
CIVIL RESOURCES, LLC
JIM BRIDGEMAN, P.E.
PRINCIPAL CIVIL ENGINEER
323 5TH STREET, P.O. BOX 480
FREDERICK, CO 80502
303-853-1418 X 200
JBRIDGEM@CIVILRESOURCES.COM

LANDSCAPE ARCHITECT
MELI, INC.
PAUL KUHN
SENIOR LANDSCAPE ARCHITECT
158 FLEMING STREET
DENVER, CO 80202
303-446-8200 / WWW.MELI.COM
PAUL@MELI.COM

LIGHTING
CLANTON & ASSOCIATES, INC.
APRIL STEVENSON
4899 NAUTILUS COURT SOUTH #102
BOULDER, CO 80501
303-683-7229
APRIL@CLANTONANDASSOCIATES.COM

IRRIGATION
WINDROSE IRRIGATION, INC.
KEA D'AMICO
PRESIDENT
860 TARDOR STREET, SUITE 200
LAVERGNE, COLORADO 80501
303-880-6327
KEA@WINDROSEIRRIGATION.COM

WONDERLAND HOMES
WONDERLAND HOMES
3716 W. PULKA
PRESIDENT/CEO
8244 NORTHFIELD BLVD, SUITE 2000
DENVER, CO 80238
727-774-0000
PHIL@WONDERLANDHOMES.COM

REMINGTON HOMES
REMINGTON HOMES
OULLAUME POCHOT
168 W. RIVE
ARVADA, CO 80002
303-440-2395
GP@REMINGTONHOMES.NET

PARKING REQUIRED

PARKING RATIO PER FPD213-1	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)		FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)	
	UNITS PROPOSED	SPACES REQUIRED	UNITS PROPOSED	SPACES REQUIRED
2 BEDROOM UNIT - 1.50 SPACES PER UNIT	68	102	20	30
3 BEDROOM UNIT - 2.0 SPACES PER UNIT	10	20	5	10
4 BEDROOM UNIT - 3.0 SPACES PER UNIT	14	42	0	0
GUEST SPACES - 0.10 PER UNIT	-	10	-	3
TOTAL	92	174	25	43

PARKING PROVIDED

PARKING SPACE TYPE	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)		FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)	
	SPACES PROVIDED	PERCENTAGE OF TOTAL PARKING PROVIDED	SPACES PROVIDED	PERCENTAGE OF TOTAL PARKING PROVIDED
INTERNAL PRIVATE GARAGE (2 PER LOT)	184	98.4%	50	100.0%
INTERNAL BLOCK VISITOR SPACES	3	1.6%	0	0.0%
TOTAL	187	100.0%	50	100.0%

SITE DATA TABLE

ZONING	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)		FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)	
	PD (PLANNED DEVELOPMENT)	PD (PLANNED DEVELOPMENT)	PD (PLANNED DEVELOPMENT)	PD (PLANNED DEVELOPMENT)
SITE ACREAGE				
GROSS	4.100 AC		6.130 AC	
DEVELOPED PER THIS FDP	4.100 ACRES (100.0%)		1.351 ACRES (22.0%)	
LAND USE				
RESIDENTIAL LOTS	2.311 AC	56.4%	0.605 AC	9.9%
OUTLOTS	1.789 AC	43.6%	0.747 AC	12.2%
SUPERLOTS (FUTURE DEVELOPMENT)	0.000 AC	0.0%	4.778 AC	77.9%
TOTAL AREA OF FDP BOUNDARY	4.100 AC	100.0%	6.130 AC	100.0%
TOTAL NUMBER OF RESIDENTIAL UNITS		92		25
SITE				
LANDSCAPING / OPEN SPACE (IN OUTLOTS)	0.761 AC	18.6%	0.140 AC	2.3%
PAVED SURFACE (PRIVATE LANES IN OUTLOTS)	1.028 AC	25.1%	0.607 AC	9.9%
BUILDING LOTS	2.311 AC	56.4%	0.605 AC	9.9%
SUPERLOTS (FUTURE DEVELOPMENT)	-	-	4.778 AC	77.9%
TOTAL	4.100 AC	100.0%	6.130 AC	100.0%
SETBACKS				
SEE SHEETS AW.01, AR.1.0 AND AD.1.0				
BUILDING HEIGHT				
MAXIMUM ALLOWABLE PER PDA	55'-0"	FT	55'-0"	FT
PROPOSED*				
WONDERLAND	47'-6"	FT	47'-6"	FT
REMINGTON TOWNHOMES	40'-2"	FT	-	-
REMINGTON SINGLE FAMILY	45'-2"	FT	-	-

*PROPOSED HEIGHTS NOTED FROM FINISH FLOOR TO ROOF PEAK. BUILDING HEIGHT IN RELATION TO AVERAGE SURROUNDING GRADE (PER TOWN CODE) TO BE DETERMINED AS PART OF BUILDING PERMIT APPLICATION BASED ON DESIGN FINISH FLOOR ELEVATION. IN NO CASE SHALL BUILDING HEIGHT EXCEED 55 FEET.

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)

REVISIONS

NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	06/01/16
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	06/01/16
4	STAFF COMMENTS	02/09/16
5	STAFF COMMENTS - FINAL REVIEW	08/10/16

Notes:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et seq., C.R.S., and Chapter 18 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 6/1/2016
DRAWN BY: CAL SCALE: 1"=40'
CHECKED BY: JAB
JOB NO.: 228.001.04
DWG NAME:

COVER SHEET

CS1.0

RECORD OF APPROVAL
Record no. 08537963
Dated August 19, 2016

LEGAL DESCRIPTION

FINAL DEVELOPMENT PLAN NO. 2
 SUBDIVISION PLAT OF LOT 4, BLOCK 13, SUPERIOR TOWN CENTER PHASE NO. 1B
 FINAL DEVELOPMENT PLAN NO. 3
 SUBDIVISION PLAT OF LOT 1, BLOCK 25, DISCOVERY OFFICE PARK/SUPERIOR TOWN CENTER REPLAT

**SUPERIOR TOWN CENTER
 FINAL DEVELOPMENT PLAN 2 (BLOCK 13) &
 FINAL DEVELOPMENT PLAN 3 PHASE 1 (PARTIAL BLOCK 25)**

SHEET INDEX

1. Cover	CS1.0
2. Context Site Plan	CS1.1
3. Overall Site Plan	C1.0
4. Partial Site Plan 1	C1.1
5. Partial Site Plan 2	C1.2
6. Partial Site Plan 3	C1.3
7. Lane Access, Fire and Hydrant Exhibit	C1.4
8. Overall Utility Plan	C2.0
9. Partial Utility Plan 1	C2.1
10. Partial Utility Plan 2	C2.2
11. Partial Utility Plan 3	C2.3
12. Overall Drainage Plan	C3.0
13. Partial Drainage Plan 1	C3.1
14. Partial Drainage Plan 2	C3.2
15. Partial Drainage Plan 3	C3.3
16. Overall Landscape Plan	L1.0
17. Landscape Plan 1	L1.1
18. Landscape Plan 2	L1.2
19. Landscape Plan 3	L1.3
20. Plant List and Notes	L2.0
21. Landscape Materials, Finishes and Character Imagery	L2.1
22. Overall Irrigation Plan	RI1.0
23. Partial Irrigation Plan 1	RI1.1
24. Partial Irrigation Plan 2	RI1.2
25. Partial Irrigation Plan 3	RI1.3
26. Overall Site Lighting Plan	LI1.0
27. Partial Lighting Plan - 1	LI1.1
28. Partial Lighting Plan - 2	LI1.2
29. Partial Lighting Plan - 3	LI1.3
30. Lighting Details	LI1.4
31. Lighting Details	LI1.5
32. Wonderland Homes Site Plan	AW.01
33. Wonderland: Building Type 3A Front Elevation	AW.02
34. Wonderland: Building Type 3A Side Elevations	AW.03
35. Wonderland: Building Type 3A Rear Elevation	AW.04
36. Wonderland: Building Type 3B Front Elevation	AW.05
37. Wonderland: Building Type 3B Side Elevations	AW.06
38. Wonderland: Building Type 3A Rear Elevation	AW.07
39. Wonderland: Building Type 4 Front Elevation	AW.08
40. Wonderland: Building Type 4 Side Elevations	AW.09
41. Wonderland: Building Type 4 Rear Elevation	AW.10
42. Wonderland: Building Type 5 Front Elevation	AW.11
43. Wonderland: Building Type 5 Side Elevations	AW.12
44. Wonderland: Building Type 5 Rear Elevation	AW.13
45. Wonderland: Color Schemes	AW.14
46. Remington: Remington Urban Villa Site Plan	ARO.1
47. Remington: Building Elevations 6 Unit Building	AR2.1
48. Remington: Building Elevations 6 Unit Building	AR2.2
49. Remington: Remington SF Site Plan And Plotting	ADD.1
50. Remington: Plan One Front Elevations	AD1.1
51. Remington: Plan Two Front Elevations	AD2.1
52. Remington: Plan Three Front Elevations	AD3.1
53. Remington: Color And Material Schemes-1	ADA.1
54. Remington: Color And Material Schemes-2	ADA.2

SIGNATURE BLOCKS

CERTIFICATE OF OWNERSHIP: RC SUPERIOR, LLC, a Delaware limited liability company
 By: Superior Town Center ASL JV Holdings, LLC, a Delaware limited liability company, its sole Member
 By: Avanti Strategic Land Investors VII, L.L.P., a Delaware limited liability limited partnership, its sole Member
 By: Avanti Properties Group II, L.L.P., a Delaware limited liability limited partnership, its Managing General Partner
 By: Avanti Management Corporation, a Florida corporation, its sole General Partner

I certify that I, _____, am the sole owner of the property and consent to this plan.

Executed this _____ day of _____, 20____.

Owners _____ Mortgages or Lien Holders _____

STATE OF _____)
) ss.

County of _____)

The foregoing certificate of ownership was acknowledged before me this _____ day of _____, 20____, by _____.

My commission expires: _____
 Notary Public

BOARD OF TRUSTEES CERTIFICATE:
 Approved by the Board of Trustees of the Town of Superior, State of Colorado. Witness my hand the corporate seal of the Town of Superior _____ on the day of _____, 20____.

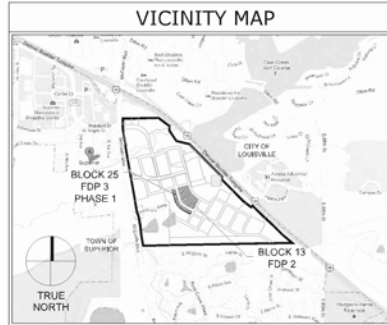
Attest: _____ Mayor
 _____ Town Clerk

PLANNING COMMISSION CERTIFICATE:
 Recommended approved this _____ day of _____, 20____, by the Town of Superior Planning Commission, Resolution No. PC _____ Series 20____.

TOWN CLERK CERTIFICATE
 I certify that this instrument as approved by (Resolution/Ordinance) No. _____ Series 20____ was filed in my office on the _____ day of _____, 20____ at _____ o'clock am/pm.

Witness my hand the corporate seal of the Town of Superior _____ on the day of _____, 20____.

 Town Clerk



DEVELOPER
 RC SUPERIOR, LLC
 10000 W. CENTRAL BLVD., SUITE 110
 DENVER, COLORADO 80231
 PH: 303.733.8888
 WWW.RCSUPERIOR.COM

ENGINEER
 CIVIL RESOURCES, LLC
 JIM BRIDGEMAN, P.E.
 10000 W. CENTRAL BLVD., SUITE 110
 DENVER, COLORADO 80231
 PH: 303.733.8888
 WWW.CIVILRESOURCES.COM

LANDSCAPE ARCHITECT
 M&L, INC.
 PIAU KLUM
 SENIOR LANDSCAPE ARCHITECT
 1801 17TH STREET, SUITE 100
 DENVER, CO 80202
 PH: 303.733.8888
 WWW.MANDLANDSCAPE.COM

LIGHTING
 CLAYTON ASSOCIATES INC.
 APRIL STEVENSON
 600 N. HAYDEN COURT, SUITE 4400
 BOULDER, CO 80501
 PH: 303.440.1111
 WWW.PAPERPLANETLIGHTING.COM

IRRIGATION
 HYDROSYSTEMS INC.
 KEN BIRCH
 800 130th STREET, SUITE 200
 LAKEWOOD, COLORADO 80045
 PH: 303.973.0100
 WWW.HYDROSYSTEMSINC.COM

WONDERLAND HOMES
 CONCEPTS HOMES
 STEVE PHELPS
 4300 NORTHFIELD BLVD., SUITE 200
 DENVER, COLORADO 80212
 PH: 303.733.8888
 WWW.WONDERLANDHOMES.COM

REMINGTON HOMES
 REMINGTON HOMES
 DANIEL FORTNEY
 848 W 8TH AVE
 DENVER, CO 80202
 PH: 303.733.8888
 WWW.REMINGTONHOMES.COM

ZONING	SITE DATA TABLE	
	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)	FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)
PD	PD (PLANNED DEVELOPMENT)	PD (PLANNED DEVELOPMENT)
SITE ACREAGE		
GROSS	4.100 AC	6.130 AC
DEVELOPED PER THIS FDP	4.100 ACRES (100.0%)	1.351 ACRES (22.0%)
LAND USE		
RESIDENTIAL LOTS	2.311 AC 56.4%	0.605 AC 9.9%
OUTLOTS	1.789 AC 43.6%	0.747 AC 12.2%
SUPERLOTS (FUTURE DEVELOPMENT)	0.000 AC 0.0%	4.778 AC 77.9%
TOTAL AREA OF FDP BOUNDARY	4.100 AC 100.0%	6.130 AC 100.0%
TOTAL NUMBER OF RESIDENTIAL UNITS	92	25
SITE		
LANDSCAPING / OPEN SPACE (IN OUTLOTS)	0.761 AC 18.6%	0.140 AC 2.3%
PAVED SURFACE (PRIVATE LANES IN OUTLOTS)	1.028 AC 25.1%	0.607 AC 9.9%
BUILDING LOTS	2.311 AC 56.4%	0.605 AC 9.9%
SUPERLOTS (FUTURE DEVELOPMENT)	-	4.778 AC 77.9%
TOTAL	4.100 AC 100.0%	6.130 AC 100.0%
SETBACKS		
SEE SHEETS AW.01, ARL.0 AND AD1.0		
BUILDING HEIGHT		
MAXIMUM ALLOWABLE PER PDA	55'-0" FT	55'-0" FT
PROPOSED*		
WONDERLAND	47'-6" FT	47'-6" FT
REMINGTON TOWNHOMES	40'-2" FT	-
REMINGTON SINGLE FAMILY	45'-2" FT	-

*PROPOSED HEIGHTS NOTED FROM FINISH FLOOR TO ROOF PEAK. BUILDING HEIGHT IN RELATION TO AVERAGE SURROUNDING GRADE (PER TOWN CODE) TO BE DETERMINED AS PART OF BUILDING PERMIT APPLICATION BASED ON DESIGN FINISH FLOOR ELEVATION. IN NO CASE SHALL BUILDING HEIGHT EXCEED 55 FEET.

PARKING RATIO PER P2013-1	PARKING REQUIRED	
	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)	FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)
	UNITS PROPOSED	SPACES REQUIRED
2 BEDROOM UNIT - 1.50 SPACES PER UNIT	68	102
3 BEDROOM UNIT - 2.0 SPACES PER UNIT	10	20
4 BEDROOM UNIT - 3.0 SPACES PER UNIT	14	42
GUEST SPACES - 0.10 PER UNIT	-	10
TOTAL	92	174

PARKING SPACE TYPE	PARKING PROVIDED	
	FINAL DEVELOPMENT PLAN NO. 2 (BLOCK 13)	FINAL DEVELOPMENT PLAN NO. 3 - PHASE 1 (PARTIAL BLOCK 25)
	SPACES PROVIDED	PERCENTAGE OF TOTAL PARKING PROVIDED
INTERNAL PRIVATE GARAGE (2 PER LOT)	184	98.4%
INTERNAL BLOCK VISITOR SPACES	3	1.6%
TOTAL	187	100.0%

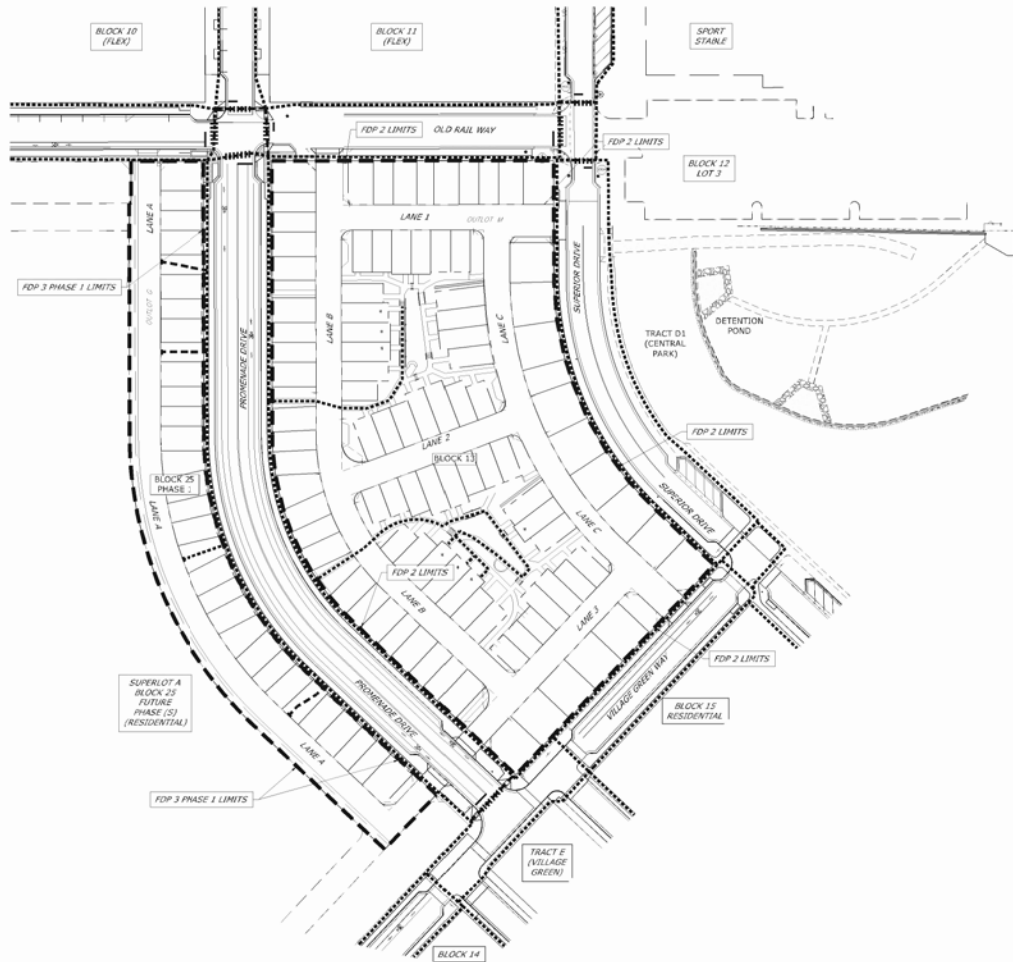
**SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)**

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUE COMMENTS	05/01/21
2	ISSUE COMMENTS	06/01/21
3	ISSUE COMMENTS	06/15/21
4	ISSUE COMMENTS	06/24/21
5	ISSUE COMMENTS	07/01/21
6	ISSUE COMMENTS	07/01/21

DESIGNED BY: JMB DATE: 01/20/16
 DRAWN BY: CAL SCALE: 1"=60'
 CHECKED BY: JMB
 JOB NO.: 228-0011
 DWG NAME: _____

COVER SHEET

SHEET: **CS1.0**



KEY MAP

- CONTEXT SITE LEGEND:**
- FDP LIMIT LINES
 - PROPERTY OUTSIDE FDP LIMITS
 - ACCESSIBLE ROUTE
 - * ACCESSIBLE HOUSING

NOTE: ALL LANES ARE TO BE OWNED AND MAINTAINED BY THE SUPERIOR TOWN CENTER METROPOLITAN DISTRICT.

CIVIL RESOURCES, LLC
 323 5th STREET
 P.O. Box 680
 FREDERICK, CO 80530
 303.833.1416
 WWW.CIVILRESOURCES.COM

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

REVISIONS

NO.	DESCRIPTION	DATE
1	START CONCEPT	05/08/16
2	START CONCEPT	06/02/16
3	START CONCEPT	06/14/16
4	START CONCEPT	07/06/16
5	START CONCEPT/PLAN MARKING	06/13/16

Noted Rights:
 This Plan constitutes a Site Specific Development Plan as defined in Section 14-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Court, Silver, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 07/20/16
 DRAWN BY: CAL SCALE: 1"=60'
 CHECKED BY: JAB
 FOR NO.: 22600141
 DWG NAME: BLOCK13_CONTEXTSITE.DWG



CONTEXT SITE PLAN

SHEET: **CS1.1**



SITE LEGEND:

- FDP LIMIT LINES
- ASPHALT (SEPARATE FDP)
- CONCRETE
- PATTERNED & COLORED CONCRETE
- ACCESSIBLE ROUTE
- ACCESSIBLE HOUSING
- SETBACK
- ELECTRIC PEDESTAL
- WATER METER
- TRANSFORMER
- WONDERLAND LOT
- REMINGTON LOT
- SANITARY MANHOLE
- STORM MANHOLE - ROUND
- STORM MANHOLE - BOX
- STORM INLET
- LIGHT POLE

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

RESIDENTIAL TYPOLOGY	
BUILDER	DESIGN GUIDELINES RESIDENTIAL TYPOLOGY
WONDERLAND HOMES	J: TOWNHOMES
REMINGTON (TOWNHOMES)	I: URBAN VILLAS
REMINGTON (SINGLE FAMILY)	H: VILLAS

CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

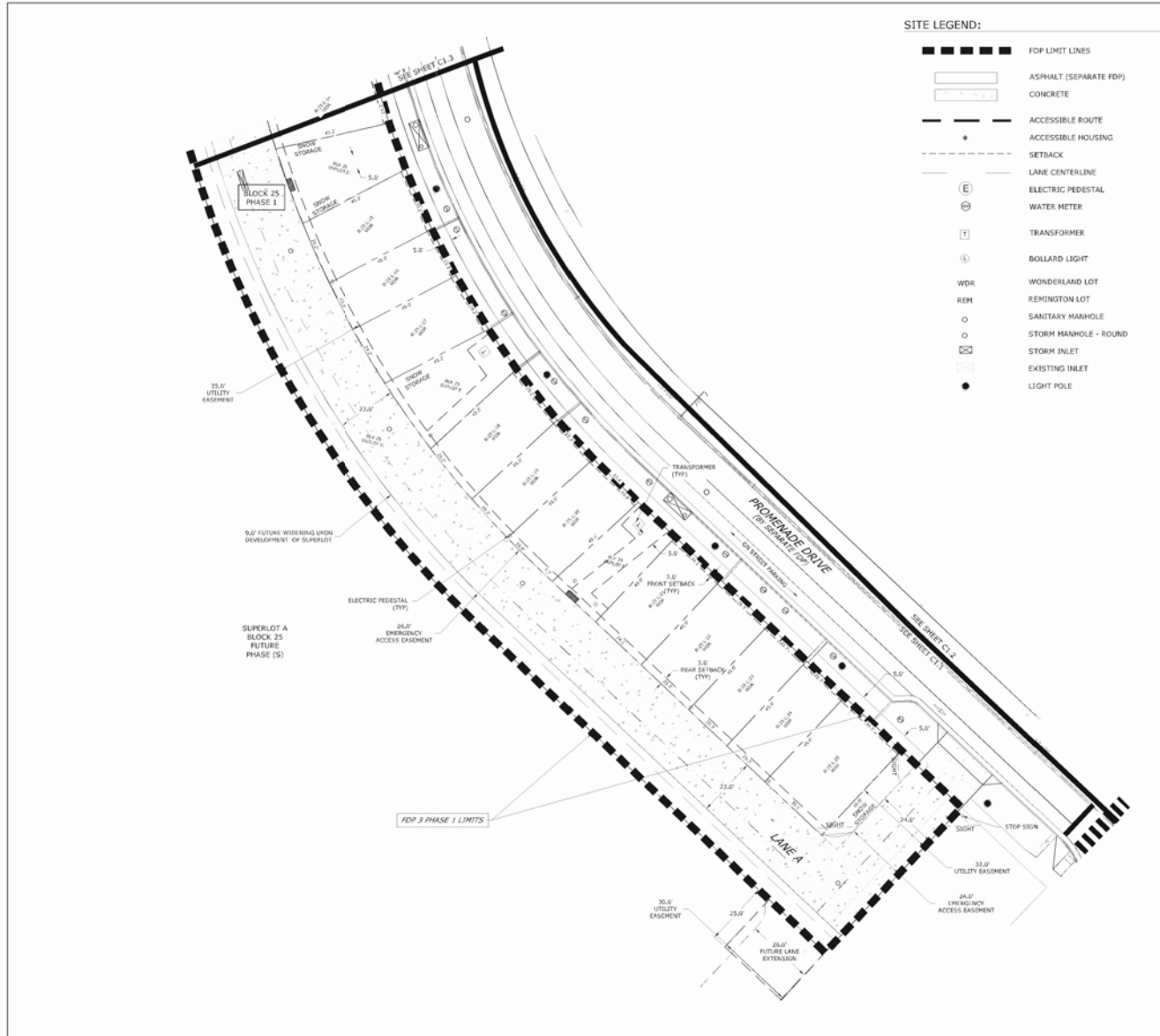
REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	05/01/16
2	START COMMENTS	06/02/16
3	START COMMENTS	06/14/16
4	START COMMENTS	07/05/16
5	START COMMENTS/PLAN REVISION	08/10/16

Notes:
This Plan complies with the Specific Development Plan as defined in Section 24-48-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 01/20/16
DRAWN BY: CAL SCALE: 1/8"=1'-0"
CHECKED BY: JAB
FOR NO.: 22640014
DWG NAME: BLK13_05P.dwg



OVERALL SITE PLAN
SHEET: **C1.0**



- SITE LEGEND:**
- FOP LIMIT LINES
 - ASPHALT (SEPARATE FDP)
 - CONCRETE
 - ACCESSIBLE ROUTE
 - ACCESSIBLE HOUSING
 - SETBACK
 - LANE CENTERLINE
 - ELECTRIC PEDESTAL
 - WATER METER
 - TRANSFORMER
 - BOLLARD LIGHT
 - WDR WONDERLAND LOT
 - REM REMINGTON LOT
 - SANITARY MANHOLE
 - STORM MANHOLE - ROUND
 - STORM INLET
 - EXISTING INLET
 - LIGHT POLE



NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS

NO.	DESCRIPTION	DATE
1	START CONCEPT	05/20/16
2	START CONCEPT	06/06/16
3	START CONCEPT	06/14/16
4	START CONCEPT	02/20/16
5	START CONCEPT/PLAN REVIEW	06/13/16

Noted Rights:
This Plan constitutes a Site Specific Development Plan as defined in Section 14-68-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Court, Silver, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 02/20/16
DRAWN BY: CAL SCALE: 1/8"=1'-0"
CHECKED BY: JAB
JOB NO.: 130600014
DWG NAME: BLOCK25_FDP2.DWG

PARTIAL SITE PLAN 1

SHEET: **C1.1**





NOTE:
 THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

REVISIONS

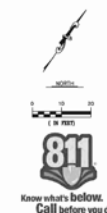
NO.	DESCRIPTION	DATE
1	START COMMENTS	05/01/16
2	START COMMENTS	06/01/16
3	START COMMENTS	06/14/16
4	START COMMENTS	02/26/16
5	START COMMENTS/CLARIFICATIONS	06/13/16

Noted Right:
 This Plan complies with the Specific Development Plan as defined in Section 14-40-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Creek Drive, Superior, Colorado from the terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB	DATE: 01/26/16
DRAWN BY: CAL	SCALE: 1"=20'
CHECKED BY: JAB	
FOR NO. 1: 20160104	
DWG NAME: BULK13_FSP_2.DWG	

PARTIAL SITE PLAN 2

SHEET: **C1.2**



SITE LEGEND:

	FDP LIMIT LINES
	ASPHALT (SEPARATE FDP)
	CONCRETE
	PATTERNED & COLORED CONCRETE
	ACCESSIBLE ROUTE
	ACCESSIBLE HOUSING
	SETBACK
	LANE CENTERLINE
	ELECTRIC PEDESTAL
	WATER METER
	TRANSFORMER
	BOLLARD LIGHT
	WONDERLAND LOT
	REMINGTON LOT
	SANITARY MANHOLE
	STORM MANHOLE - ROUND
	STORM INLET
	EXISTING INLET
	LIGHT POLE



SITE LEGEND:

- ▬▬▬▬▬ FOP LIMIT LINES
- ▬ ASPHALT (SEPARATE FDP)
- ▬ CONCRETE
- ▬ PATTERNED & COLORED CONCRETE
- ACCESSIBLE ROUTE
- * ACCESSIBLE HOUSING
- - - SETBACK
- - - LANE CENTERLINE
- ⊕ ELECTRIC PEDESTAL
- ⊙ WATER METER
- ⊕ TRANSFORMER
- ⊙ BOLLARD LIGHT
- WDR WONDERLAND LOT
- REM REMINGTON LOT
- SANITARY MANHOLE
- STORM MANHOLE - ROUND
- STORM INLET
- EXISTING INLET
- LIGHT POLE

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.




CIVIL RESOURCES, LLC

323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

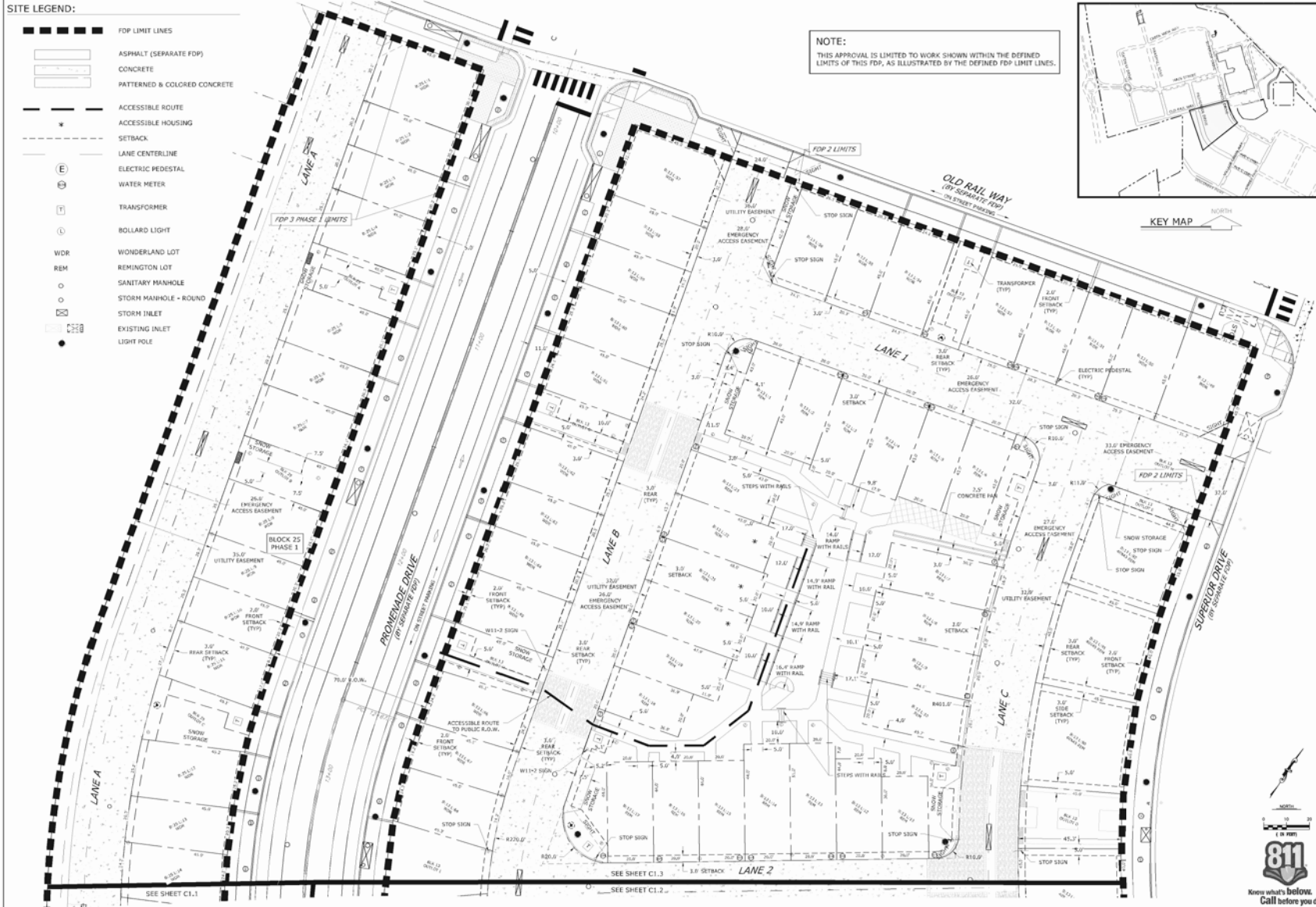
NO.	DESCRIPTION	DATE
1	START CONCEPT	06/20/17
2	START CONCEPT	06/20/17
3	START CONCEPT	06/26/17
4	START CONCEPT	07/20/17
5	START CONCEPT/PLAN REVIEW	06/13/18

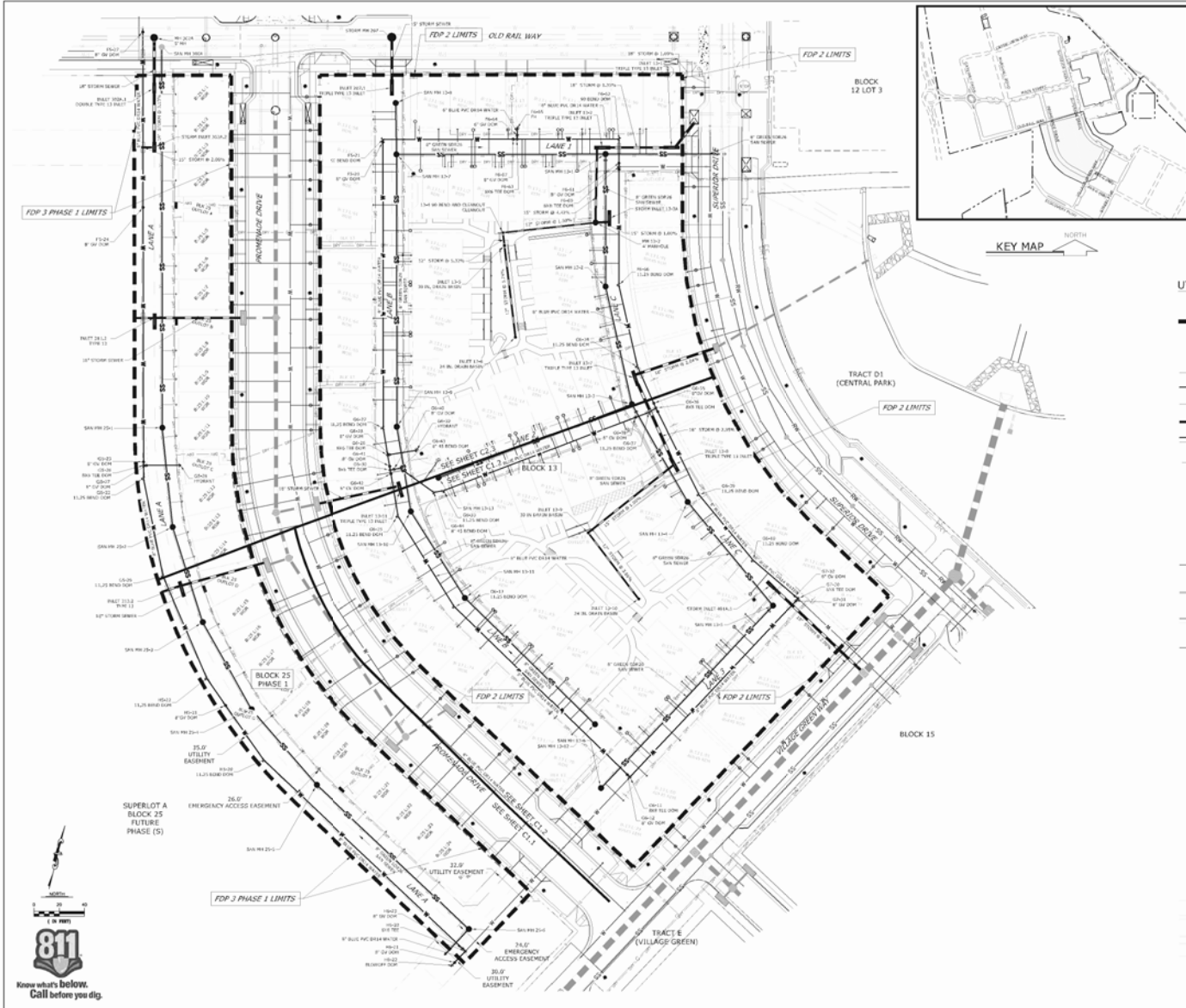
Noted: Rights
This Plan constitutes a Site Specific Development Plan as defined in Section 24-63-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Court, Silver, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 07/26/18
DRAWN BY: CAL SCALE: 1"=20'
CHECKED BY: JAB
FOR NO. 226200144
DWG NAME: BLOCK13_PSP_1.LDWG

PARTIAL SITE PLAN 3

SHEET: **C1.3**





NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.



UTILITY LEGEND:

- FDP LIMIT LINES
- PATTERNED & COLORED CONCRETE
- FUTURE PHASES
- WATER LINE - THIS FDP
- DRY ELECTRIC - THIS FDP (UTILITY LOCATIONS BY NEARING SERVICE PROVIDER DESIGN)
- STORM SEWER - THIS FDP
- SANITARY SEWER WITH UNDERDRAIN - THIS FDP
- GAS LINE - THIS FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- SANITARY MANHOLE - THIS FDP
- FIRE HYDRANT - THIS FDP
- WATER VALVE - THIS FDP
- WATER LINE - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- SANITARY SEWER WITH UNDERDRAIN - BY SEPARATE FDP
- REUSE WATER - BY SEPARATE FDP
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- SANITARY MANHOLE - BY SEPARATE FDP
- FIRE HYDRANT - BY SEPARATE FDP
- WATER VALVE - BY SEPARATE FDP
- LIGHT POLE
- ELECTRIC PEDESTAL
- GAS METER
- WATER METER
- TRANSFORMER
- BOLLARD LIGHT
- EXISTING REUSE LINE
- EXISTING SANITARY SEWER WITH UNDERDRAIN
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING INLET
- LIGHT POLE

CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS

NO.	DESCRIPTION	DATE
1	START COMMENTS	06/20/17
2	START COMMENTS	06/20/17
3	START COMMENTS	06/20/17
4	START COMMENTS	06/20/17
5	START COMMENTS	06/20/17

This Plan constitutes a Site Specific Development Plan as defined in Section 24-65(1)(c), et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 07/2016
DRAWN BY: CAL SCALE: 1"=50'
CHECKED BY: JAB
FOR INFO: JZARUBA
DWG NAME: BULK13_001P_C21.DWG

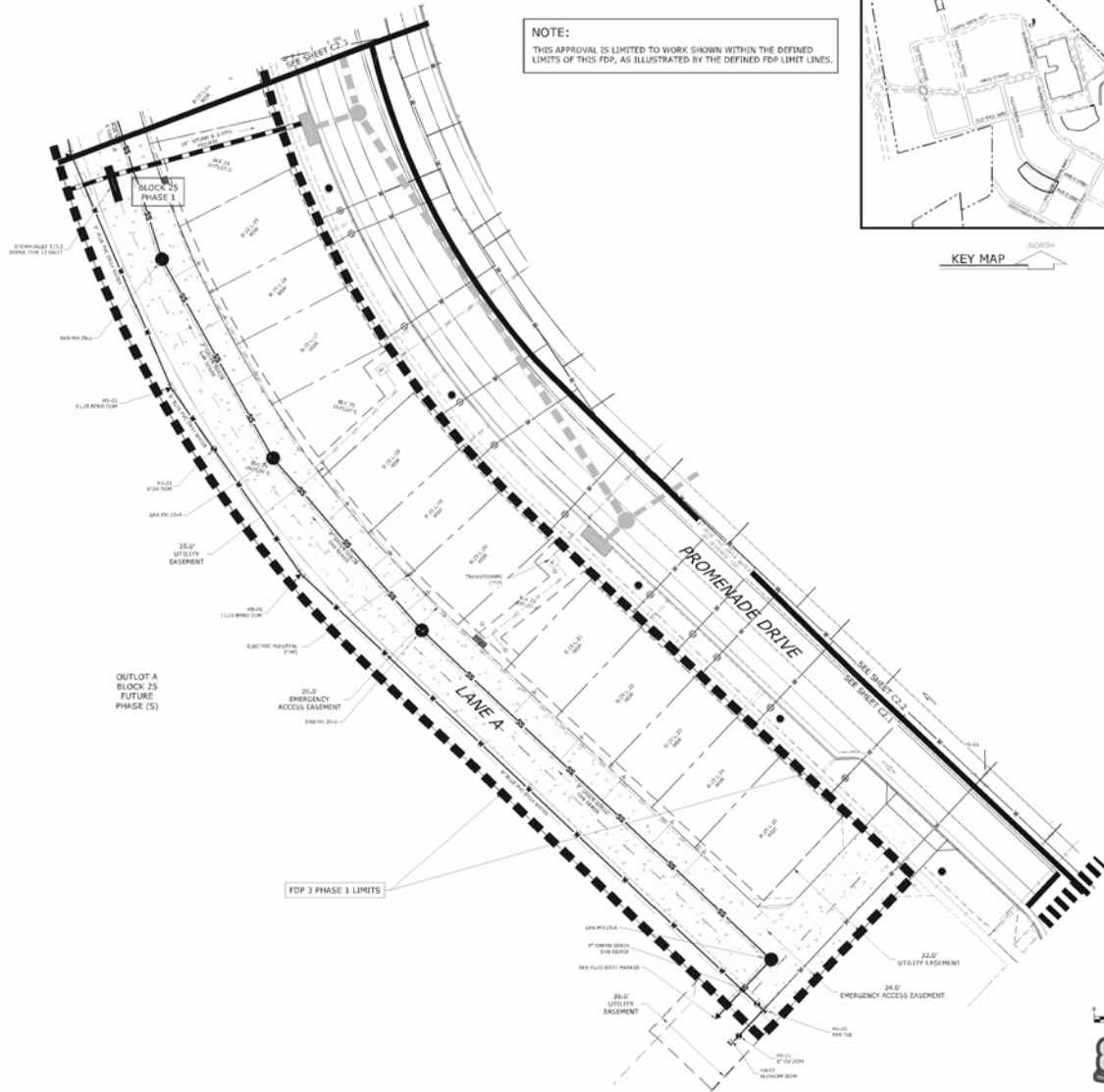
OVERALL UTILITY PLAN

SHEET: **C2.0**



UTILITY LEGEND:

- FDP LIMIT LINES
- ▭ ASPHALT
- ▭ CONCRETE
- FUTURE PHASES
- WATER LINE - THIS FDP
- DRY ELECTRIC - THIS FDP
(ELECTRIC COORDINATING ENGINEERING SERVICE PROVIDER DESIGN)
- STORM SEWER - THIS FDP
- SANITARY SEWER WITH UNDERDRAIN - THIS FDP
- GAS LINE - THIS FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- SANITARY MANHOLE - THIS FDP
- ⊕ WATER VALVE - THIS FDP
- WATER LINE - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- ⊕ WATER VALVE - BY SEPARATE FDP
- ⓔ ELECTRIC PEDESTAL
- Ⓜ GAS METER
- Ⓦ WATER METER
- Ⓣ TRANSFORMER
- Ⓛ BOLLARD LIGHT
- LIGHT POLE



NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.



CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS

NO.	DESCRIPTION	DATE
1	START CONCEPT	05/20/16
2	START CONCEPT	06/02/16
3	START CONCEPT	06/14/16
4	START CONCEPT	07/20/16
5	START CONCEPT/PLAN MARKING	08/10/16

Noted Right:
This Plan constitutes a Site Specific Development Plan as defined in Section 14-65-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Court, Silver, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: JAB DATE: 07/20/16
DRAWN BY: CAL SCALE: 1"=20'
CHECKED BY: JAB
JOB NO.: 226260141
DWG NAME: BLOCK25_OUT1.DWG

PARTIAL UTILITY PLAN 1

SHEET: **C2.1**



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

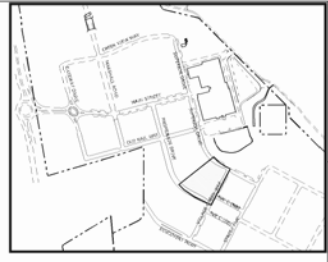
REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/01/17
2	START COMMENTS	06/02/17
3	START COMMENTS	06/05/17
4	START COMMENTS	06/05/17
5	START COMMENTS	06/05/17

Noted Right:
 This Plan complies with the Specific Development Plan as defined in Section 14-65-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Creek Drive, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 07/2016
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JAB
 FOR NO.: 22240448
 DWG NAME: BULK13_PUT_2.DWG

PARTIAL UTILITY PLAN 2

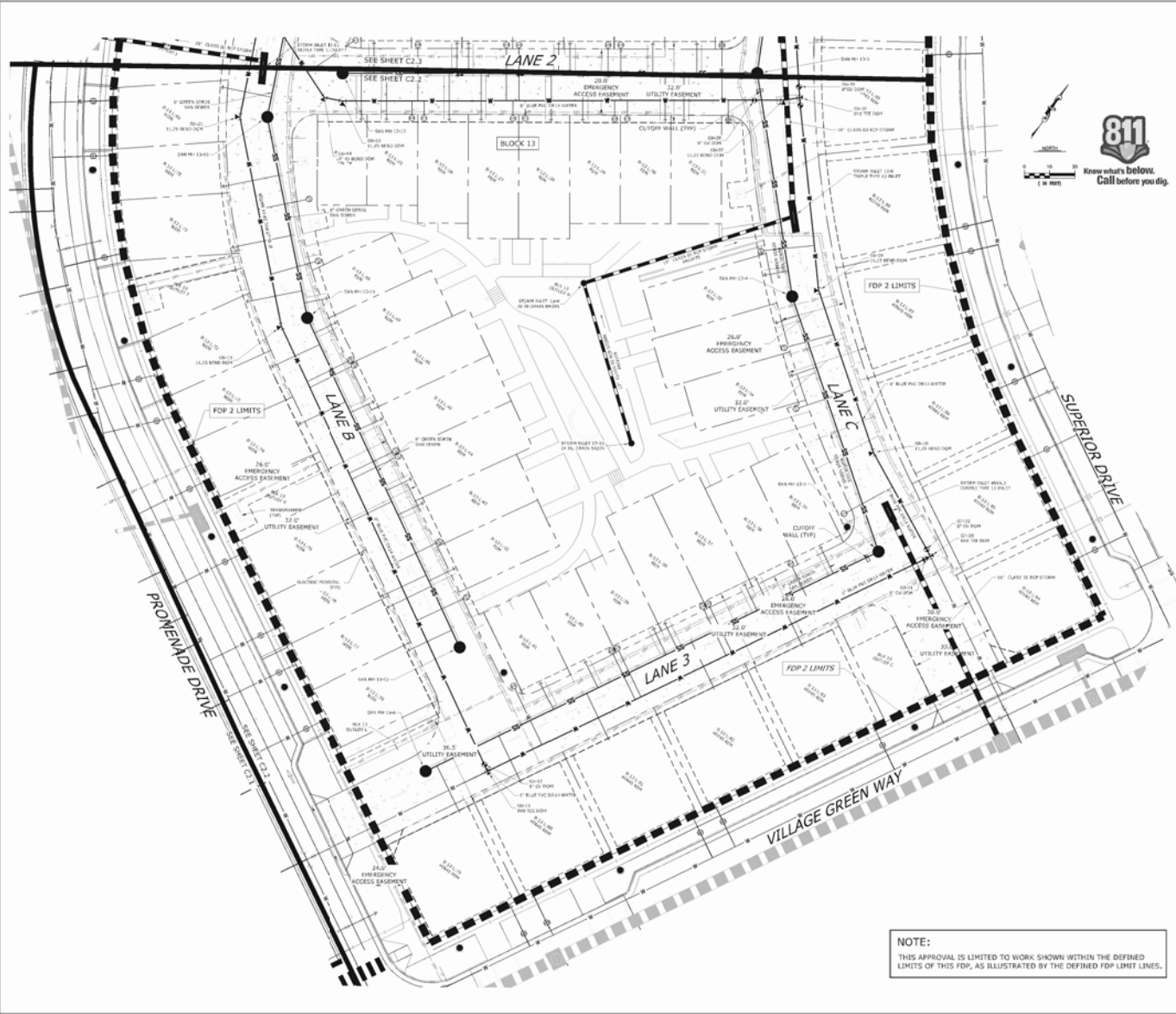
SHEET:
C.2.2



UTILITY LEGEND:

- FDP LIMIT LINES
- ASPHALT
- CONCRETE
- PATTERNED & COLORED CONCRETE
- FUTURE PHASES
- WATER LINE - THIS FDP
- DRY ELECTRIC - THIS FDP (TELECOM LOCATIONS PENDING SERVICE PROVIDER DESIGN)
- STORM SEWER - THIS FDP
- SANITARY SEWER WITH UNDERDRAIN - THIS FDP
- GAS LINE - THIS FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- SANITARY MANHOLE - THIS FDP
- WATER VALVE - THIS FDP
- WATER LINE - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- REUSE WATER - BY SEPARATE FDP
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- WATER VALVE - BY SEPARATE FDP
- LIGHT POLE
- (E) ELECTRIC PEDESTAL
- (GM) GAS METER
- (M) WATER METER
- (T) TRANSFORMER
- (I) BOLLARD LIGHT

NOTE:
 THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.



UTILITY LEGEND:

- FDP LIMIT LINES
- ▬ ASPHALT
- ▬ CONCRETE
- ▬ PATTERNED & COLOURED CONCRETE
- FUTURE PHASES
- WATER LINE - THIS FDP
- ONLY ELECTRIC - THIS FDP
- BY SEPARATE FDP (SEE SERVICE PROVIDER BENDS)
- STORM SEWER - THIS FDP
- SANITARY SEWER WITH UNDERDRAIN - THIS FDP
- GAS LINE - THIS FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- SANITARY MANHOLE - THIS FDP
- WATER VALVE - THIS FDP
- WATER LINE - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- REUSE WATER - BY SEPARATE FDP
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- WATER VALVE - BY SEPARATE FDP
- LIGHT POLE
- (E) ELECTRIC PEDESTAL
- GM GAS METER
- W WATER METER
- TRANSFORMER
- BOLLARD LIGHT
- EXISTING REFUSE LINE
- EXISTING SANITARY SEWER WITH UNDERDRAIN
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING INLET
- EXISTING MANHOLE

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.



KEY MAP

CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS

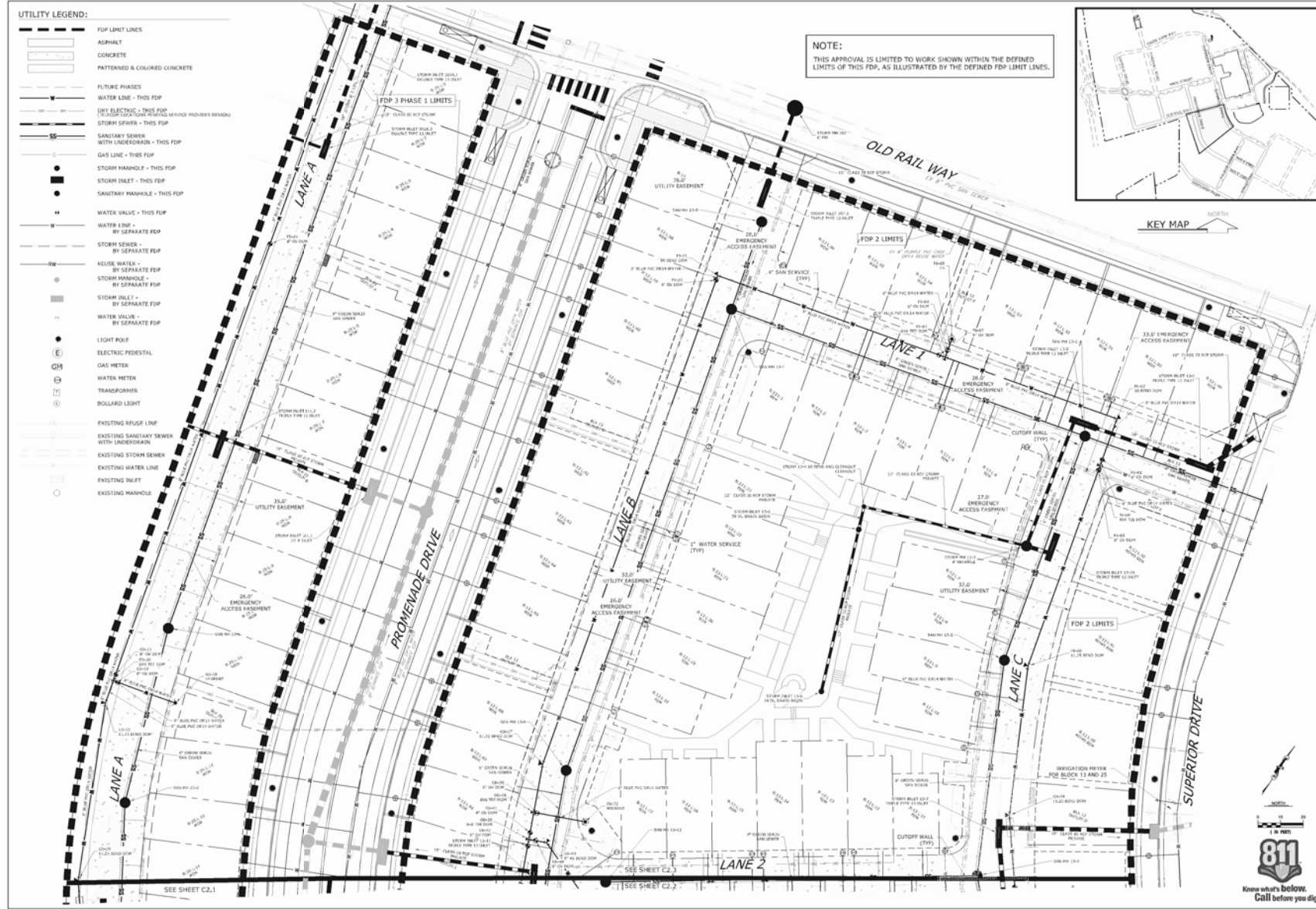
NO.	DESCRIPTION	DATE
1	ISSUE COMMENTS	05/06/16
2	ISSUE COMMENTS	06/06/16
3	ISSUE COMMENTS	06/06/16
4	ISSUE COMMENTS	06/06/16
5	ISSUE COMMENTS	06/06/16

Noted Right:
This Plan constitutes the Specific Development Plan as defined in Section 14-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Court, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: JAB DATE: 02/26/16
DRAWN BY: CAL SCALE: 1"=20'
CHECKED BY: JAB
FOR INFO: JZG/SLJ
DWG NAME: BULK3_PUT_1.dwg

PARTIAL UTILITY PLAN 3

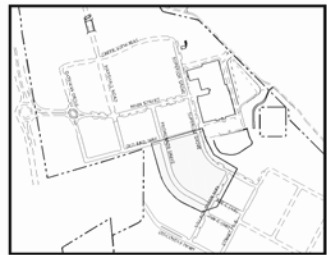
SHEET: **C2.3**





NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

NOTES:
1. FLOOR SLAB ELEVATIONS TO BE DETERMINED BY BUILDER AT TIME OF BUILDING PERMIT APPLICATION.
2. EXISTING CONTOURS SHOWN ARE DESIGN OVERLOT GRADES PER FDP 1 PHASE 2.
3. ALL DRAINAGE DESIGN AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CHAPTER II, ARTICLE III OF THE SUPERIOR MUNICIPAL CODE, STORMWATER DRAINAGE.



DRAINAGE LEGEND:

- FDP LIMIT LINES
- ASPHALT
- CONCRETE
- PATTERNED & COLORED CONCRETE
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- BASIN BOUNDARIES
- BASIN IDENTIFICATION
- BASIN AREA (A.C.)
- 10-YR AND 100-YR RUNOFF COEFFICIENTS
- FLOW ARROW
- SANITARY MANHOLE
- INLET
- EXISTING STORM SEWER
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- STORM SEWER - THIS FDP
- EXISTING INLET

CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

**SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO**

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	05/15/11
2	START COMMENTS	06/02/11
3	START COMMENTS	06/15/11
4	START COMMENTS	07/20/11
5	START COMMENTS/CLARIFICATION	08/10/11

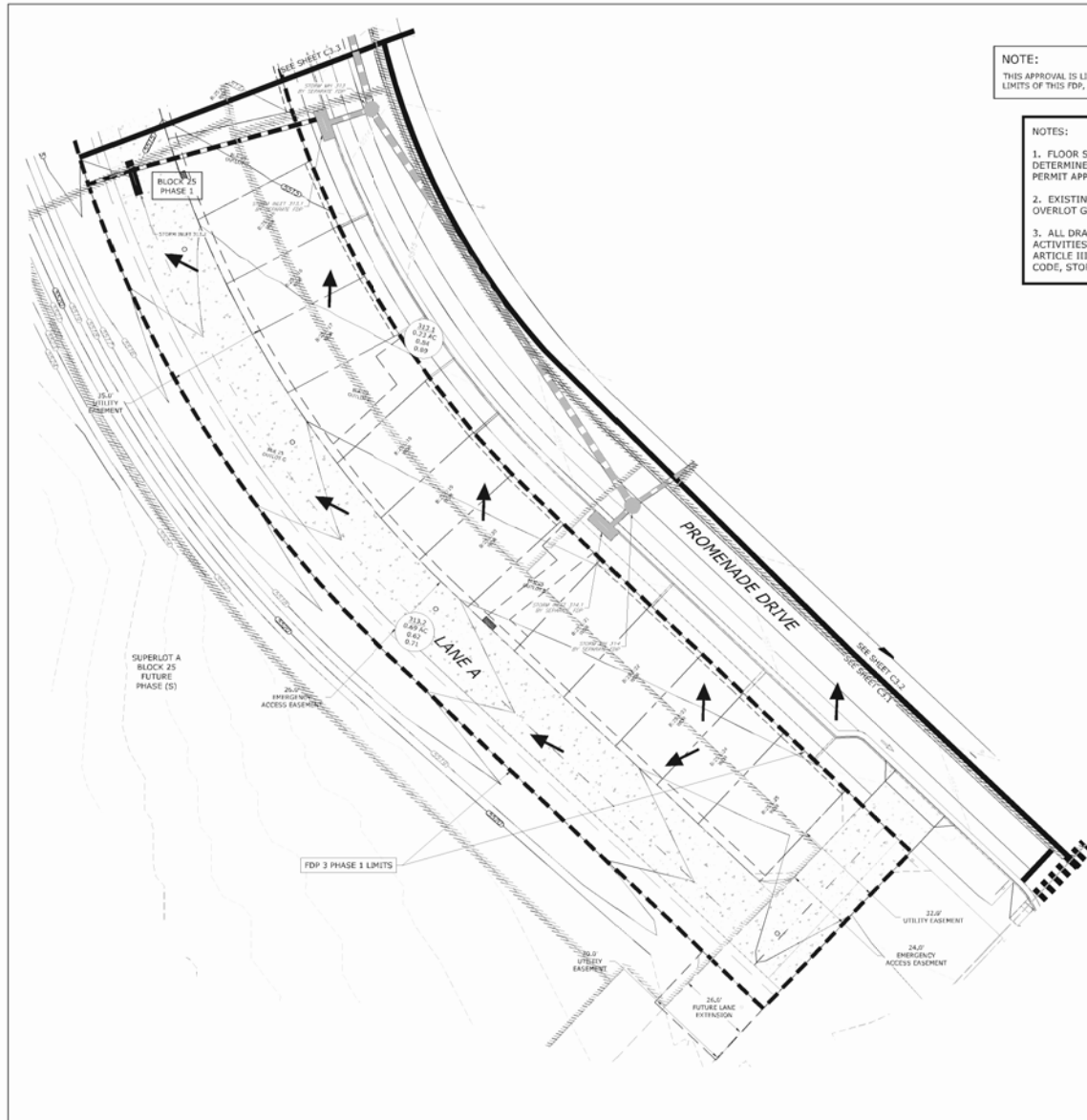
Noted: Right: This Plan constitutes a Site Specific Development Plan as defined in Section 14-65-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Creek Drive, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2011.

DESIGNED BY: JAB DATE: 07/26/11
DRAWN BY: CAL SCALE: 1"=80'
CHECKED BY: JAB
FOR NO.: 226000044
DWG NAME: BULK13_GDP.DWG

OVERALL DRAINAGE PLAN

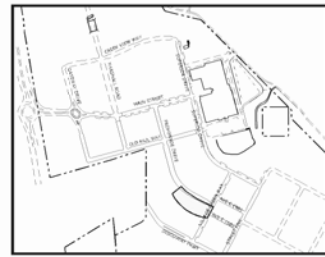
SHEET: **C3.0**





NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

- NOTES:**
1. FLOOR SLAB ELEVATIONS TO BE DETERMINED BY BUILDER AT TIME OF BUILDING PERMIT APPLICATION.
 2. EXISTING CONTOURS SHOWN ARE DESIGN OVERLOT GRADES PER FDP 1 PHASE 2.
 3. ALL DRAINAGE DESIGN AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CHAPTER II, ARTICLE III OF THE SUPERIOR MUNICIPAL CODE, STORMWATER DRAINAGE.



KEY MAP

DRAINAGE LEGEND:

- FDP LIMIT LINES
- ASPHALT
- CONCRETE
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- BASIN BOUNDARIES
- BASIN IDENTIFICATION
- BASIN AREA (A/C)
- 10-YR AND 100-YR RUNOFF COEFFICIENTS
- FLOW ARROW
- STORM MANHOLE - BY SEPARATE FDP
- STORM INLET - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- STORM INLET - THIS FDP
- STORM SEWER - THIS FDP

CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1416
WWW.CIVILRESOURCES.COM

**SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO**

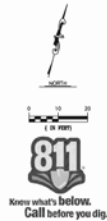
NO.	DESCRIPTION	DATE
1	START CONCEPTS	05/20/15
2	START CONCEPTS	06/04/15
3	START CONCEPTS	06/18/15
4	START CONCEPTS	07/06/15
5	START CONCEPTS/PLAN REVIEW	06/10/15

Noted Rights:
This Plan constitutes a Site Specific Development Plan as defined in Section 14-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Court, Durango, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: JAB DATE: 07/20/15
DRAWN BY: CAL SCALE: 1"=20'
CHECKED BY: JAB
FOR NO.: 222600144
DWG NAME: BLOCK25_OGP.DWG

PARTIAL DRAINAGE PLAN 1

SHEET: **C3.1**





CIVIL RESOURCES, LLC
 323 5th STREET
 P.O. Box 680
 FREDERICK, CO 80530
 303.833.1416
 WWW.CIVILRESOURCES.COM



KEY MAP

NOTE:
 THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

NOTES:
 1. FLOOR SLAB ELEVATIONS TO BE DETERMINED BY BUILDER AT TIME OF BUILDING PERMIT APPLICATION.
 2. EXISTING CONTOURS SHOWN ARE DESIGN OVERLOT GRADES PER FDP 1 PHASE 2.
 3. ALL DRAINAGE DESIGN AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CHAPTER II, ARTICLE III OF THE SUPERIOR MUNICIPAL CODE, STORMWATER DRAINAGE.

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

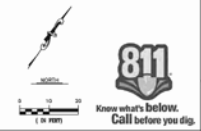
REVISIONS		
NO.	DESCRIPTION	DATE
1	START DRAWING	05/08/16
2	START COMMENTS	06/02/16
3	START COMMENTS	06/14/16
4	START COMMENTS	07/05/16
5	START COMMENTS/CLARIFICATIONS	08/15/16

Noted Right:
 This Plan complies with the Specific Development Plan as defined in Section 14-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Court, Drive, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JMB DATE: 01/20/16
 DRAWN BY: CAL SCALE: 1"=20'
 CHECKED BY: JMB
 FOR NO.: 22260484
 DWS NAME: BUK13_FDP_2.DWG

PARTIAL DRAINAGE PLAN 2

SHEET: C3.2



DRAINAGE LEGEND:

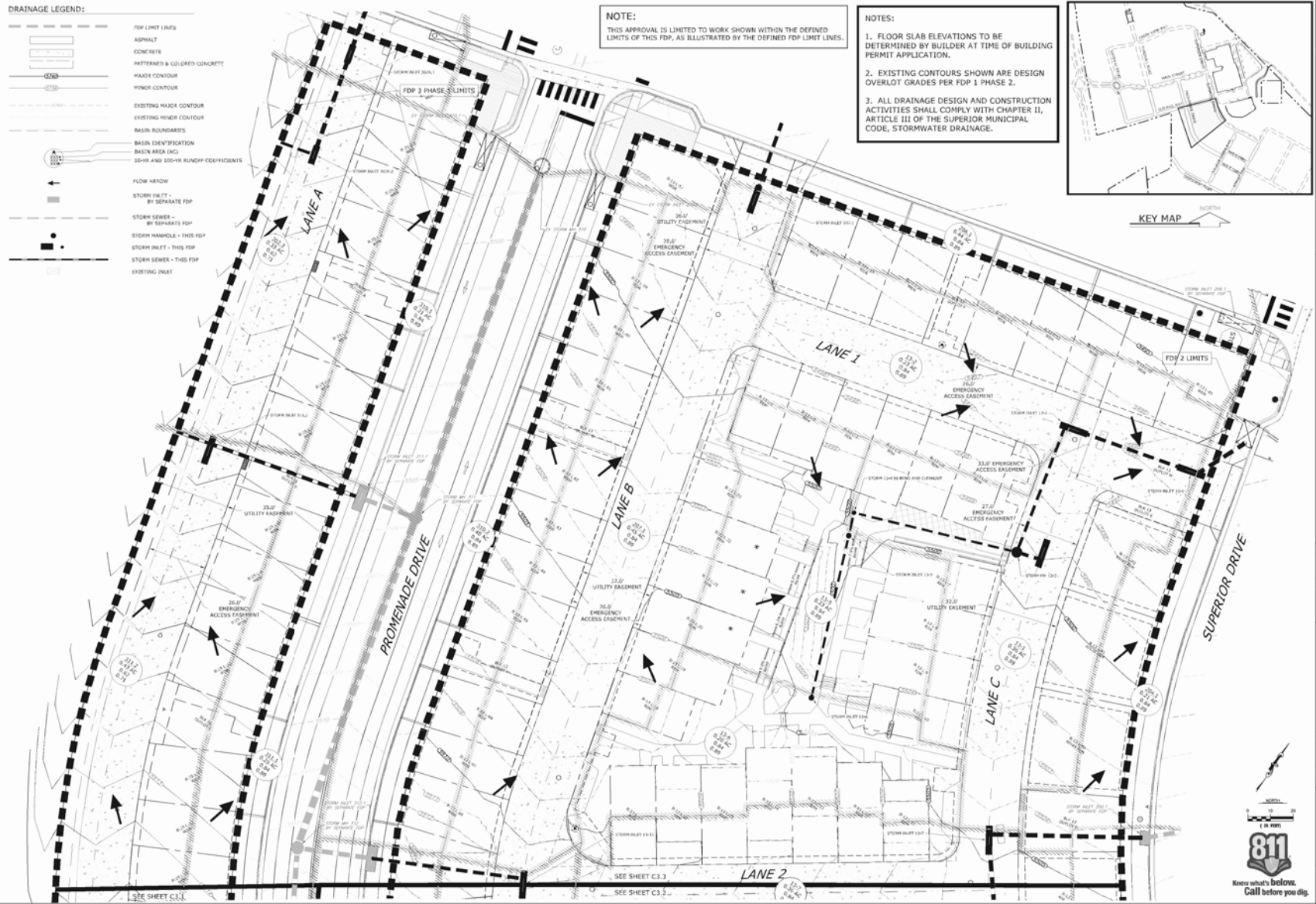
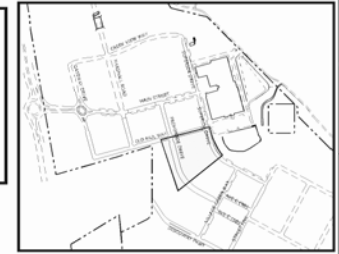
	FDP LIMIT LINES
	ASPHALT
	CONCRETE
	PATTERNED & COLORED CONCRETE
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	BASIN BOUNDARIES
	BASIN IDENTIFICATION
	BASIN AREA (AC)
	10-YR AND 100-YR RUNOFF COEFFICIENTS
	FLOW ARROW
	STORM INLET - THIS FDP
	STORM INLET - BY SEPARATE FDP
	STORM MANHOLE - THIS FDP
	STORM MANHOLE - BY SEPARATE FDP
	STORM INLET - THIS FDP
	STORM INLET - BY SEPARATE FDP
	EXISTING INLET

DRAINAGE LEGEND:

- FDP LIMIT LINES
- ASPHALT
- CONCRETE
- PATTERNED & COLORED CONCRETE
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- BASIN BOUNDARIES
- BASIN IDENTIFICATION
- BASIN AREA (SQ)
- 10-YR AND 100-YR RUNOFF COEFFICIENTS
- FLOW ARROW
- STORM INLET - BY SEPARATE FDP
- STORM SEWER - BY SEPARATE FDP
- STORM MANHOLE - THIS FDP
- STORM INLET - THIS FDP
- STORM SEWER - THIS FDP
- EXISTING INLET

NOTE:
THIS APPROVAL IS LIMITED TO WORK SHOWN WITHIN THE DEFINED LIMITS OF THIS FDP, AS ILLUSTRATED BY THE DEFINED FDP LIMIT LINES.

- NOTES:**
1. FLOOR SLAB ELEVATIONS TO BE DETERMINED BY BUILDER AT TIME OF BUILDING PERMIT APPLICATION.
 2. EXISTING CONTOURS SHOWN ARE DESIGN OVERLOT GRADES PER FDP 1 PHASE 2.
 3. ALL DRAINAGE DESIGN AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CHAPTER II, ARTICLE III OF THE SUPERIOR MUNICIPAL CODE, STORMWATER DRAINAGE.



CIVIL RESOURCES, LLC
323 5th STREET
P.O. Box 680
FREDERICK, CO 80530
303.833.1446
WWW.CIVILRESOURCES.COM

141 UNION BLVD., STE 130
LAKEWOOD, CO 80228

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS

NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/08/16
2	STAFF COMMENTS	06/08/16
3	STAFF COMMENTS	06/08/16
4	STAFF COMMENTS	02/09/16
5	STAFF COMMENTS/PLAN MARKING	06/13/16

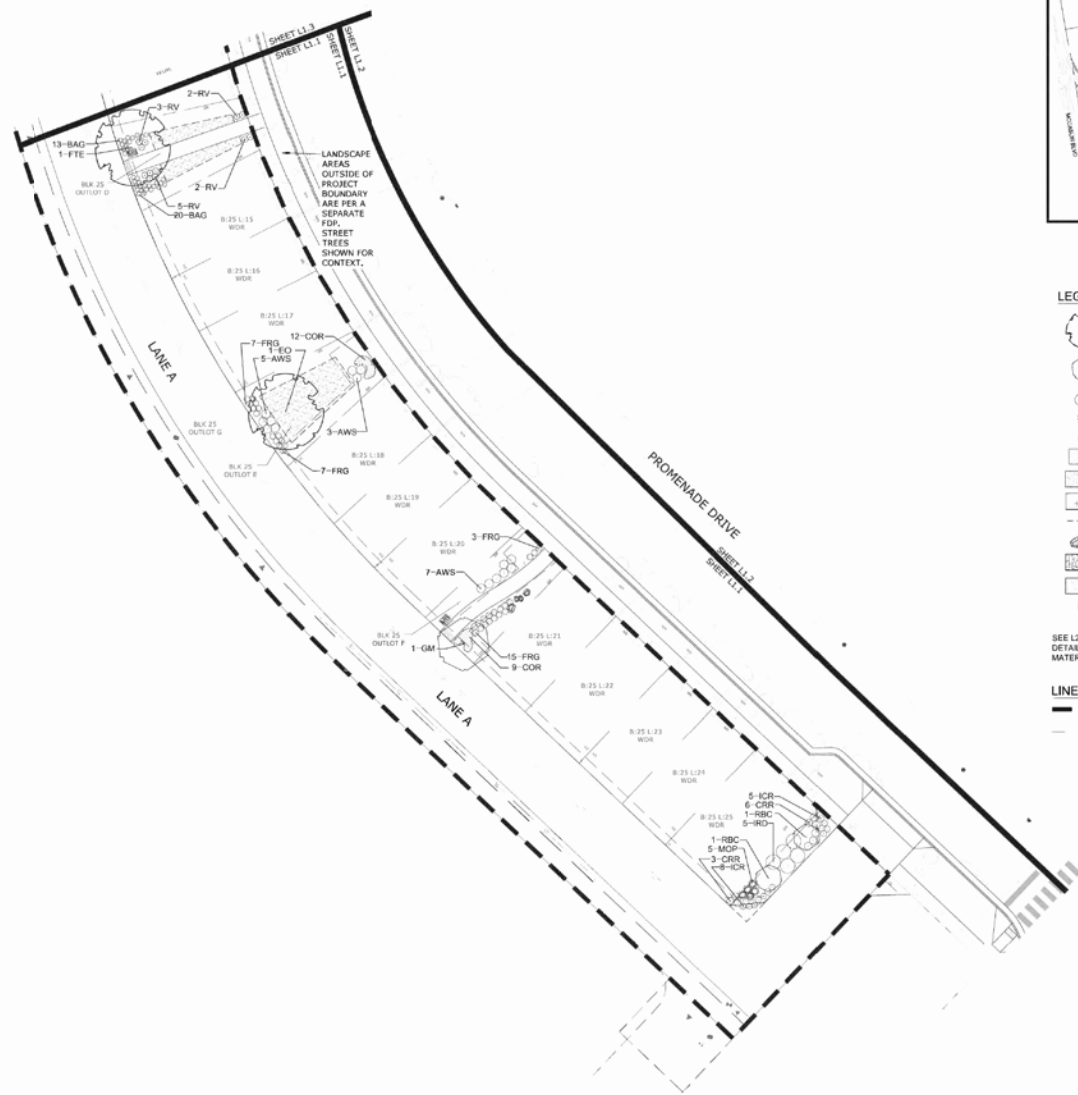
Noted Again:
This Plan constitutes the Specific Development Plan as defined in Section 14-48(1)(1), et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Court, Snow, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB DATE: 07/20/16
DRAWN BY: CAL SCALE: 1"=20'
CHECKED BY: JAB
FOR NO.: 22600044
DWG NAME: BULK13_FDP_1_LDWG

PARTIAL DRAINAGE PLAN 3

SHEET: **C3.3**





- LEGEND**
- DECIDUOUS TREE
 - ORNAMENTAL TREE
 - DECIDUOUS SHRUB
 - EVERGREEN SHRUB
 - ORNAMENTAL GRASS
 - PERENNIAL
 - LOW WATER USE TURF SOD
 - NATIVE GRASS SEED MIX
 - STEEL EDGER
 - LANDSCAPE SHOULDER
 - COLORED AND PATTERNED CONCRETE SEE SHEET L1.0
 - PRECAST PAVERS SEE SHEET L1.0
 - MAIL KIOSK (SEE MAIL DELIVERY DIAGRAM, SHEET L1.0)
- SEE L2.0 FOR PLANT LIST, PLANTING DETAILS, AND NOTES. SEE L2.1 FOR MATERIALS AND FINISHES.
- LINETYPE LEGEND**
- PROJECT BOUNDARY
 - LOT LINE



STC METROPOLITAN DISTRICT #2
141 UNION BLVD., STE 100
LAKEWOOD, CO 80228

**SUPERIOR TOWN CENTER
FDP # (BLOCK 13) & FDP #3 PHASE 1 (PARTIAL BLOCK 25)
LANDSCAPE PLANS**

NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	9/18/13
2	STAFF COMMENTS	06/01/13
3	STAFF COMMENTS	05/14/13
4	STAFF COMMENTS	07/01/13
5	STAFF COMMENTS - PLANT DETAILS	08/17/13

Noted Eight:
This plan constitutes a Site Specific Development Plan as defined in section 24-66-101, et seq. C.A.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: **ARI** DATE: 08-15-2014
DRAWN BY: **ARI** SCALE: AS SHOWN
CHECKED BY: **PKK**

LANDSCAPE PLAN 1

L1.1





LINETYPE LEGEND

- PROJECT BOUNDARY
- - - LOT LINE
- - - REMINGTON BUILDING EDGE (ONLY SHOWN WHEN THE EDGE IS NOT THE LOT LINE)



NORTH
KEY MAP



STC METROPOLITAN DISTRICT #2

141 UNION BLVD., STE 150
LAKEWOOD, CO 80228

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
LANDSCAPE PLANS

NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	9/18/13
2	STAFF COMMENTS	06/07/13
3	STAFF COMMENTS	06/14/13
4	STAFF COMMENTS	11/07/13
5	STAFF COMMENTS - FINAL WORKING	08/17/13

Noted Eight:
This plan constitutes a Site Specific Development Plan as defined in section 24-6B-101, et seq, C.A.S., and Chapter 16 of the Superior Amended Code, available at the Superior Town Hall, 124 East Golf Creek Drive, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2013.

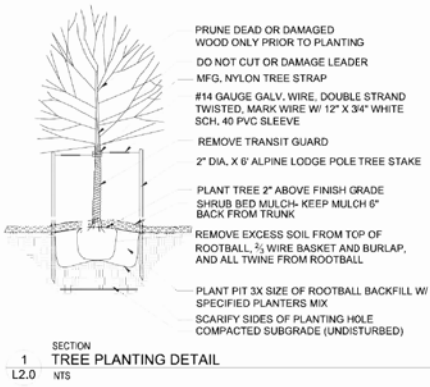
- LEGEND**
- DECIDUOUS TREE
 - ORNAMENTAL TREE
 - DECIDUOUS SHRUB
 - EVERGREEN SHRUB
 - ORNAMENTAL GRASS
 - PERENNIAL
 - LOW WATER USE TURF SOO
 - NATIVE GRASS SEED MIX
 - STEEL EDGER
 - LANDSCAPE BOULDER
 - COLORLED AND PATTERNEED CONCRETE SEE SHEET L1.0
 - PRECAST PAVERS SEE SHEET L1.0
 - MAIL KIOSK (SEE MAIL DELIVERY DIAGRAM SHEET L1.0)
- SEE L2.0 FOR PLANT LIST, PLANTING DETAILS, AND NOTES. SEE L2.1 FOR MATERIALS AND FINISHES.

DESIGNED BY: AJM DATE: 05-22-2014
DRAWN BY: AJM SCALE: AS SHOWN
CHECKED BY: JMK

LANDSCAPE PLAN 3

L1.3

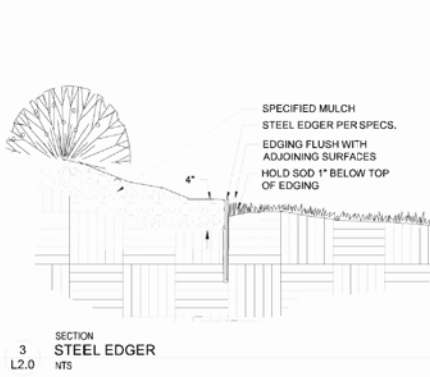




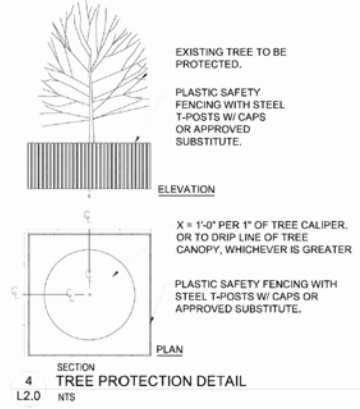
1
L2.0
NTS



2
L2.0
NTS



3
L2.0
NTS



4
L2.0
NTS

- NOTES**
- TREES PLANTED WITHIN SIGHT TRIANGLES SHALL NOT BRANCH HORIZONTALLY BELOW A 6' HEIGHT. SHRUBS WITHIN SIGHT TRIANGLES SHALL NOT EXCEED 2'40" IN HEIGHT.
 - ALL SHRUB BEDS ARE TO BE MULCHED TO A 3" MIN. DEPTH WITH SPECIFIED ROCK MULCH. ROCK MULCH IS TO BE PLACED OVER WEED CONTROL FABRIC.
 - ALL SHRUB BEDS SHALL BE SEPARATED FROM TURF AREAS BY 3/16" X 4" X 16" STEEL EDGING.
 - LOCATION OF PLANT MATERIAL SHALL BE ADJUSTED TO PROVIDE THE REQUIRED MINIMUM CLEARANCE FROM THE FINAL LOCATION OF ALL BURIED UTILITY LINES.
 - ALL TREES IN NATIVE GRASS AND TURF AREAS SHALL HAVE A 3" DIAMETER, 4" DEEP WOOD MULCH RING AROUND THE BASE OF THE TREE.
 - NATIVE GRASS SEED MIX TO BE TOWN OF SUPERIOR STANDARD NATIVE SEED MIX. ROCK CREEK IRRIGATED NATIVE SEED MIX.
 - THE LANDSCAPING INDICATED ON THE PLANS WILL BE WATERED BY A FULLY AUTOMATED, UNDERGROUND SPRINKLER SYSTEM CONSISTING OF A COMBINATION OF ROTORS, POPUPS, AND LOW WATER USE EMITTERS (E.G. DRIP EMITTERS, BUBBLERS, STREET TREE RINGS, ETC.). THE WATER SOURCE FOR THE IRRIGATION SYSTEM WILL BE THE TOWN OF SUPERIOR REUSE LINE.
 - THE IRRIGATION SYSTEM WILL BE CONTROLLED BY PROGRAMMABLE IRRIGATION CLOCK WHICH ALLOWS VARIATIONS IN ZONE SEQUENCING AND TUNING TO MEET THE WATER USE REQUIREMENTS OF EACH AREA OF THE PLANTING PLAN.
 - RAIN SENSORS WHICH AUTOMATICALLY SHUT DOWN THE IRRIGATION SYSTEM DURING PERIODS OF HIGH MOISTURE WILL BE INSTALLED.
 - DRIP, SUBSURFACE, BUBBLER, OR LOW VOLUME IRRIGATION DISTRIBUTION SYSTEMS WILL BE USED FOR ALL PLANTING STRIPS LESS THAN 6" WIDE AND ALL PLANTING BEDS INVOLVING TREES, SHRUBS, PERENNIALS AND GROUND COVERS.

Superior Town Center FDP 2 and 3

Plant List

Key	Latin Name	Common Name	Qty	Spacing	Size
Deciduous Trees					
GM	Acer glabrum 'Flame'	Flame Red Maple	12	As Shown	8' Clump
EO	Quercus robur	English Oak	4	As Shown	2.5' Cal.
FTE	Ulmus x 'Froster'	Frontier Elm	6	As Shown	2.5' Cal.
GL	Tilia cordata 'Greenspire'	Greenspire Linden	2	As Shown	2.5' Cal.
SHL	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	8	As Shown	2.5' Cal.
SWD	Quercus bicolor	Swamp White Oak	2	As Shown	2.5' Cal.
WC	Catalpa speciosa	Western Catalpa	2	As Shown	2.5' Cal.
Ornamental Trees					
BTM	Acer grandidentatum	Bigtooth 'Rocky Mountain Glow' Maple	7	As Shown	8' Clump
GM	Acer glabrum 'Flame'	Flame Red Maple	12	As Shown	8' Clump
RSC	Malus 'Red Baron'	Red Baron Crabapple	13	As Shown	2" Cal.
SSC	Malus 'Spring Snow'	Spring Snow Crabapple	3	As Shown	2" Cal.
TCH	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	2	As Shown	2" Cal.
Deciduous Shrubs					
Key	Latin Name	Common Name	Qty	Spacing	Size
AW5	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spiraea	75	As Shown	5 Gal.
CLBB	Buxidia davidii nankaiensis 'Pete's Indigo'	Compact Lander Butterfly Bush	14	As Shown	5 Gal.
CR	Rosa 'Flower Carpet Red'	Flower Carpet Red Rose	14	As Shown	5 Gal.
GM	Ribes agrinum 'Green Mount'	Greenmount Alpine Currant	25	As Shown	5 Gal.
ICR	Rosa x 'Ivory Carpet'	Ivory Carpet Rose	20	As Shown	5 Gal.
RD	Cornus stolonifera 'Inland'	Inland Reddog Dogwood	28	As Shown	5 Gal.
RS	Pinus strobus 'Russian'	Russian Sage	45	As Shown	5 Gal.
Evergreen Shrubs					
Key	Latin Name	Common Name	Qty	Spacing	Size
AVJ	Juniperus horizontalis 'Youngstown'	Andorra 'Youngstown' Juniper	17	As Shown	5 Gal.
HSP	Pinus mugo 'Mugo'	Miniature Mugo Pine	54	As Shown	5 Gal.
SJ	Juniperus sabinna 'Scandia'	Scandia Juniper	6	As Shown	5 Gal.
Ornamental Grasses					
Key	Latin Name	Common Name	Qty	Spacing	Size
BAG	Hieracium sempervirens	Blue Avena Grass	197	As Shown	5 Gal.
DFD	Pennisetum setosum 'Cassara'	Canadian Dwarf Fountain Grass	22	As Shown	5 Gal.
FIG	Calamagrostis Aleutica 'Nipi Foerster'	Feather Reed Grass	181	As Shown	5 Gal.
PSG	Panicum virgatum 'Heavy Metal'	Heavy Metal Blue Switchgrass	18	As Shown	5 Gal.
SG	Panicum virgatum 'Prairie Sky'	Prairie Sky Switchgrass	74	As Shown	5 Gal.
Perennials					
Key	Latin Name	Common Name	Qty	Spacing	Size
AUS	Sedum 'Autumn Joy'	Autumn Joy Sedum	59	As Shown	1 Gal.
BES	Rubus 'Fragula Crispum'	Black-Eyed Susan	144	As Shown	1 Gal.
BF1	Baptisia australis	Blue False Indigo	76	As Shown	1 Gal.
CM	Allypella 'Walker's Low'	Walker's Low Camellia	71	As Shown	1 Gal.
CON	Conoclinium verticillatum 'Moonbeam'	Moonbeam Coreopsis	68	As Shown	1 Gal.
MY	Achillea 'Mocoshine'	Mocoshine Yarrow	78	As Shown	1 Gal.
DCG	Zauschneria gemmifera 'Orange Carpet'	Creeping Hummingbird Trumpet	26	As Shown	1 Gal.
PCF	Echinacea purpurea	Purple Coneflower	54	As Shown	1 Gal.
RMP	Penstemon strictus	Rocky Mountain Penstemon	72	As Shown	1 Gal.
RV	Centranthus ruber	Red Valerian	72	As Shown	1 Gal.

LANDSCAPE DENSITIES (Per #PD-A-2013-1 and PDA #3)

Landscape Area	Superior Town Center Single-Family Residential Required		Superior Town Center Multi-Family Residential Required	
	Trees	Shrubs	Trees	Shrubs
Open Space Landscape Requirements (Developed Landscape)	1/1150 s.f.	1/100 s.f.	1/1150 s.f.	1/100 s.f.
Open Space Landscape Requirements (Naturalized Landscape)	1/4000 s.f.	1/500 s.f.	1/4000 s.f.	1/500 s.f.
Foundation Planting	--	--	--	(See Note #1)

Note 1 Foundation Plantings and Landscape Buffers: Where k/k in the Superior Town Center are developed to the property line (zero lot line), foundation plantings and landscape buffers between uses will typically not apply. Note 2 Superior Town Center (STC) Landscaping: STC landscaping shall be per Article XXI, Section 16-21-10 of the Municipal Code except where noted in #PD-A-2013-1 and PDA #2.

THIS CHART IS FOR PLANTING INFORMATIONAL PURPOSES ONLY. SEE OTHER SITE PLAN SHEETS FOR SITE INFORMATION AND REQUIREMENTS (INCLUDING ACREAGES).

Item	Block 13		Block 25 Phase 1	
	Required	Provided	Required	Provided
Total Open Space (Including Walks)	--	33,149 SF	--	6,098 SF
Total Planting Area	--	19,443 SF	--	5,863 SF
Total Live Coverage of Planting Area	75% Min. (14,597 SF)	13,820 SF	0.245 SF	5,225 SF
Deciduous Trees (1/1150 SF)	29	54	5	15
Evergreen Trees	NA	NA	NA	NA
Unadjusted Shrub Totals (1/100 SF)	331	*213	63	*53
Tree Surplus Applied To Shrub Requirements (Per Sec. 16-21-10, "Trees and shrubs may be substituted at a ratio of 1 tree to 14 shrubs")	--	26 Tree Surplus = 364 Shrubs	--	30 Tree Surplus = 420 Shrubs
Adjusted Shrub Total (Tree Surplus * Unadjusted Shrub Total)	331 Shrubs	607 Shrubs	63 Shrubs	193 Shrubs
Percentage of Evergreen Shrubs	33.30%	27%	33.30%	21%

*Ornamental grasses and perennials not included. See plant list for total quantities.



STC METROPOLITAN DISTRICT #2
141 UNION BLVD., STE 100
LAKEWOOD, CO 80228

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
LANDSCAPE PLANS

REVISIONS

NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	5/8/19
2	STAFF COMMENTS	6/6/19
3	STAFF COMMENTS	6/14/19
4	STAFF COMMENTS	6/27/19
5	STAFF COMMENTS	6/27/19

Vested Rights
This plan constitutes a Site Specific Development Plan as defined in section 24-66-101, et seq. C.S. and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: ANH DATE: 05-11-2018
DRAWN BY: ANH SCALE: AS SHOWN
CHECKED BY: PMS
JOB NO.:
DWG NAME:

PLANT LIST AND NOTES

L2.0



Have what's below. Call before you dig.

REVISIONS		
NO.	DESCRIPTION	DATE
1	STAKE COMMENTS	8/16/15
2	STAFF COMMENTS	06/01/16
3	STAFF COMMENTS	05/14/16
4	STAFF COMMENTS	11/02/16
5	STAFF COMMENTS - PLANT SCHEDULE	08/17/16

Yarded Rights:
 This plan constitutes a Site Specific Development Plan as defined in section 24-6B-101, et seq, C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these yarded rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: ABH DATE: 04-01-2015
 DRAWN BY: ABH SCALE: AS SHOWN
 CHECKED BY: EPK
 FOR SET:
 (DWG NAME)

LANDSCAPE MATERIALS, FINISHES, AND CHARACTER IMAGERY
 L2.1



1 L2.1 ROCK MULCH



2 L2.1 DRAINAGE SWALE CHARACTER IMAGE



3 L2.1 COLORED AND STAMPED CONCRETE (STREET)

CONCRETE STAMP: Majestic Ashlar Slate by Concrete Equipment Direct (or approved equal) <https://www.concreteequipmentdirect.com/>
 COLOR: DAVIS COLORS "ADOBE" (or similar - samples to be provided and approved) www.daviscolors.com/

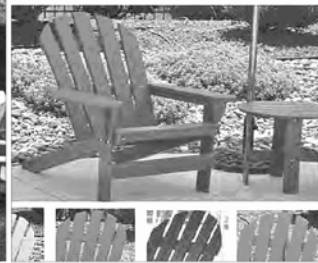


4 L2.1 PRECAST PAVERS - CHARACTER IMAGE
 SELECTED "PATIO" AREAS (SEE PLANS)

PATIO™ 14 PAVING SYSTEM (or approved equal)
 COLOR: GRAPHITE
<http://anchorblock.com/>
 "For a sophisticated look, choose the RINN™ Patio™ 14 paving system - comprising 4 pieces with the same width (14cm) and varying lengths, reminiscent of plank styling."
 FEATURES:
 80mm 4-piece system consists of two large rectangles (5.5" x 23" and 5.5" x 18.5"), medium rectangle (5.5" x 13"), small rectangle (5.5" x 9")
 Rinn™ paving systems offer rich, long-lasting colors and iconic European styling
 Ideal for patios, pathways, walkways and driveways
 Suitable for residential and light commercial use"



5 L2.1 MOVABLE FURNITURE CHARACTER IMAGERY - SEATING AREA 1

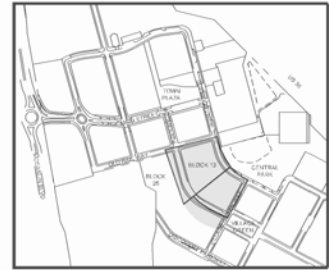


"CAPE COD" BY FROG FURNISHINGS (or approved equal)
 COLORS TO BE SELECTED FROM REDS, BLUES, GREENS, AND BROWNS
 SEATING AREA MAY CONTAIN MULTIPLE COLORS. COLOR SAMPLES TO BE PROVIDED BY MANUFACTURER FOR FINAL SELECTION.
<http://www.frogfurnishings.com/#/pr-prd42029828125/cape-cod>
 Materials: Recycled Plastic (UV stabilized) with Stainless Steel hardware



6 L2.1 CONCRETE SEATWALL CHARACTER IMAGES - SEATING AREA 2
 DETAILS TO BE DEVELOPED/APPROVED AT TIME OF CONSTRUCTION DRAWINGS





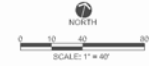
KEY MAP
NORTH

LEGEND

- PROJECT BOUNDARY
- - - LOT LINE

NOTES:
1. SEE SHEET IR1.1, IR1.2, AND IR1.3 FOR IRRIGATION PLANS.
2. SEE SHEET IR1.1 FOR IRRIGATION SCHEDULE AND NOTES.

REFER TO SHEET
 IR1.0 IRRIGATION OVERALL PLAN
 IR1.1 IRRIGATION NOTES
 IR1.1 IRRIGATION SCHEDULE
 IR1.1 TO IR1.3 IRRIGATION PLAN



HydroSystems-KDI, Inc. *Integrating Drainage*
 800 East Street, Suite 300
 Lakewood, Colorado 80401
 303.969.1111
 303.969.1284 (fax)



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 IRRIGATION PLANS

REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	5/18/16
2	STAFF COMMENTS	8/10/16
3	STAFF COMMENTS	8/16/16
4	STAFF COMMENTS	7/26/16
5	STAFF COMMENTS - ADDED VALVES	8/17/16

Vegetation
 This Plan constitutes a site specific development plan as defined in Section 24-6B-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2012.

DESIGNED BY: JJB DATE: 08-23-2016
 DRAWN BY: JJB SCALE: AS SHOWN
 CHECKED BY: JJB
 JOB NO.:
 DRWG NAME:

OVERALL
 IRRIGATION
 PLAN

IR1.0

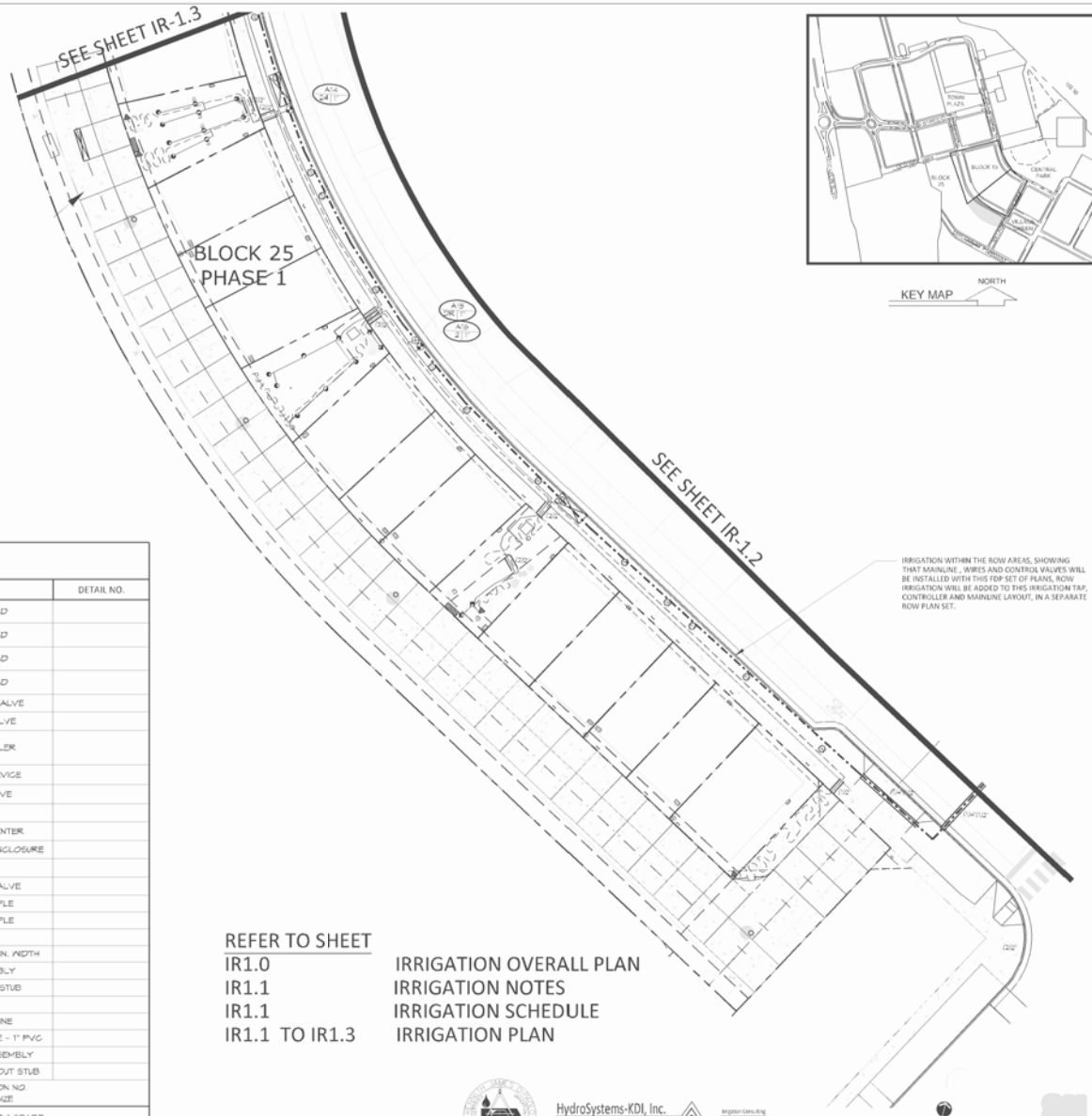
IRRIGATION DEVELOPMENT DESIGN NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN AN SIX NIGHT, SIX HOUR PER NIGHT PATTERNING PERIOD.
2. THE MAINLINE SYSTEM WILL BE DESIGNED SUCH THAT VELOCITIES WITHIN THE MAINLINE PIPING DO NOT EXCEED FIVE FEET PER SECOND.
3. THE MAXIMUM FLOW RATE REQUIRED FOR THE SITE IS 20 GPM. THE STATIC PRESSURE AVAILABLE AT THE SITE IS (TBD) PSI.
4. IRRIGATION DESIGN APPROACH
 - 4.1. TURF AREAS
 - 4.1.1. SMALL AREAS (25 FEET WIDE OR LESS) SHALL BE IRRIGATED WITH FIXED NOZZLE POP-UP SPRAY HEADS WITH MATCHED PRECIPITATION NOZZLES. NOZZLES SHALL BE SIZES TO PROVIDE HEAD-TO-HEAD COVERAGE.
 - 4.1.2. LARGE TURF AREAS (WIDER THAN 25 FEET) SHALL BE IRRIGATED WITH GEAR DRIVEN ROTOR HEADS WITH A MINIMUM PRECIPITATION RATE OF .45" PER HOUR FOR A FULL CIRCLE HEAD.
 - 4.2. SHRUB BED AREAS - BED AREAS WITH PLANT MATERIAL ONE GALLON IN SIZE OR LARGER SHALL BE DRIP IRRIGATED.
 - 4.3. PERENNIAL AND ANNUAL BED AREAS - PERENNIAL AND ANNUAL BED AREAS SHALL BE SPRAY IRRIGATED WITH 12" POP-UP SPRAY HEADS WITH A MAXIMUM SPACING OF 10' O.C. OR N AREAS ARE LESS THAN 10 FT. WIDE SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION.
 - 4.4. SUBSURFACE IRRIGATION - WHERE REQUIRED BY LOCAL CODES, SUBSURFACE IRRIGATION SHALL BE INSTALLED IN SHRUB BEDS AND/OR NATIVE AREAS LESS THAN 10 FT. WIDE. TURF SHALL ONLY BE LOCATED IN AREAS GREATER THAN 10 FT. WIDE.
5. WEB-BASED CONTROL NOTE - WEATHERMATIC SMARTLINK WEB-BASED CONTROL SYSTEM WITH FLOW MONITORING AND REPORTING MODELS (PER SCHEDULE) INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONTACT STEVE PURST AT WEATHERMATIC (303) 653-1591 FOR PRICING; CONTACT JOHN KEESIN AT HYDROSYSTEMS/KDI (303) 450-5927 FOR CONTROLLER AND FLOW SENSOR START-UP AND INITIALIZATION. WATER MANAGEMENT SUBSCRIPTION IS INCLUDED IN THE COST OF THE CONTROLLER FOR A 1 YEAR PERIOD AND WILL BE MANAGED ON BEHALF OF THE OWNER BY HYDROSYSTEMS/KDI. COORDINATION BETWEEN HYDROSYSTEMS/KDI AND THE LANDSCAPE MAINTENANCE COMPANY WILL BE REQUIRED FOR A PERIOD OF ONE YEAR, AT MINIMUM.
6. THE IRRIGATION INFORMATION SHOWN ON THESE PLANS IS CONCEPTUAL.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.
	HUNTER	PRO5-06-CV-PRS30-R IV MPR NOZ.	POPUP SPRAY HEAD	
	HUNTER	PRO5-06-CV-PRS30-R IV MPR SST. CORNER NOZ.	POPUP SPRAY HEAD	
	HUNTER	PRO5-12-CV-PRS30-R WITH MPR NOZZLE	HI-POP SPRAY HEAD	
	HUNTER	PRO5-12-CV-PRS30-R WITH MPR SST. CORNER NOZZLE	HI-POP SPRAY HEAD	
	HUNTER	10V SERIES IV DECODER	ELECTRIC CONTROL VALVE	
	HUNTER	HQ-44-LRG	QUICK COUPLING VALVE	
	WEATHERMATIC	SLR600 2-WIRE SERIES, 1/2 QUOTE NUMBER) WITH (SLEED-ENG/SLUM5G) & SMARTLINK AIRGARD WITH FLOW	ELECTRIC CONTROLLER	
	WEATHERMATIC	SLAS -WIRELESS	WEATHER STATION DEVICE	
	MATCO	201X	MANUAL DRAIN VALVE	
		LINE SIZE - 2 1/2" AND SMALLER	GATE VALVE	
	FEEDCO	025YA	RP BACKFLOW PREVENTER	
	GUARDSHACK	GS-1	BACKFLOW PREVENTER ENCLOSURE	
	WEATHERMATIC	SLFSH-T10 (1')	FLOW SENSOR	
	HUNTER	10V SERIES	MASTER CONTROL VALVE	
		CLASS 200 BE - 2 1/2" & SMALLER	PVC MAINLINE - PURPLE	
		CLASS 200 BE	PVC LATERAL - PURPLE	
		CLASS 160	PVC SLEEVING	
	TORO	BLUE STRIPE - PURPLE	POLY DRIP TUBING - 3/4" MIN. WIDTH	
	HUNTER	IG2-101-40 IV/DECODER	DRIP VALVE ASSEMBLY	
			DRIP LINE BLOW-OUT STUB	
	RAIN BIRD	XERI-ENG	DRIP EMITTERS	
	NETAFIM	TURAN-12 ROWS SPACED 12" - PURPLE	SUBSURFACE DRIFLINE	
		PURPLE CLASS 200 BE	SUBSURFACE HEADER PIPE - 1" PVC	
	NETAFIM	LVG280-1007B IV/DECODER	SUBSURFACE VALVE ASSEMBLY	
			SUBSURFACE LINE BLOW-OUT STUB	
			CONTROLLER 4 STATION NO.	
			CONTROL VALVE SIZE	

NUMBER OF SPARE PIPES - 2 CONTROL AND 1 SPARE PIPES TO HIGH CONTROLLER - SEE CONSTRUCTION NOTES



IRRIGATION WITHIN THE ROW AREAS, SHOWING THIS MAINLINE, WIRES AND CONTROL VALVES WILL BE INSTALLED WITH THIS TOP SET OF PLANS. ROW IRRIGATION WILL BE ADDED TO THIS IRRIGATION TAP, CONTROLLER AND MAINLINE LAYOUT, IN A SEPARATE ROW PLAN SET.

REFER TO SHEET

- IR1.0
- IR1.1
- IR1.1
- IR1.1 TO IR1.3

IRRIGATION OVERALL PLAN
IRRIGATION NOTES
IRRIGATION SCHEDULE
IRRIGATION PLAN



HydroSystems-KDI, Inc.
800 Taber Street, Suite 700
Littleton, Colorado 80120
303.980.5322
303.980.5344 Email



SCALE: 1" = 20'



SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
IRRIGATION PLANS

NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	5/15/18
2	STAFF COMMENTS	8/9/18
3	STAFF COMMENTS	8/14/18
4	STAFF COMMENTS	7/26/18
5	STAFF COMMENTS - LEAD ARCHITECT	08/17/18

Noted:
This Plan constitutes a site specific development plan as defined in Section 24-48-101, et seq., C.R.S., and Chapter 14 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Gold Creek Drive, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JSL DATE: 05-01-2018
DRAWN BY: JSL SCALE: AS SHOWN
CHECKED BY: JSL
JOB NO.:
DWG NAME:

PARTIAL
IRRIGATION
PLAN - 1

IR1.1



IRRIGATION WITHIN THE ROW AREAS, SHOWING THAT MAINLINE, WIRES AND CONTROL VALVES WILL BE INSTALLED WITH THIS FDP SET OF PLANS. ROW IRRIGATION WILL BE ADDED TO THIS IRRIGATION TAP, CONTROLLER AND MAINLINE LAYOUT, IN A SEPARATE ROW PLAN SET.

IRRIGATION WITHIN THE ROW AREAS, SHOWING THAT MAINLINE, WIRES AND CONTROL VALVES WILL BE INSTALLED WITH THIS FDP SET OF PLANS. ROW IRRIGATION WILL BE ADDED TO THIS IRRIGATION TAP, CONTROLLER AND MAINLINE LAYOUT, IN A SEPARATE ROW PLAN SET.

IRRIGATION WITHIN THE ROW AREAS, SHOWING THAT MAINLINE, WIRES AND CONTROL VALVES WILL BE INSTALLED WITH THIS FDP SET OF PLANS. ROW IRRIGATION WILL BE ADDED TO THIS IRRIGATION TAP, CONTROLLER AND MAINLINE LAYOUT, IN A SEPARATE ROW PLAN SET.



REFER TO SHEET
 IR1.0 IRRIGATION OVERALL PLAN
 IR1.1 IRRIGATION NOTES
 IR1.1 IRRIGATION SCHEDULE
 IR1.1 TO IR1.3 IRRIGATION PLAN

**SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 IRRIGATION PLANS**

REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	5/18/18
2	STAFF COMMENTS	8/9/18
3	STAFF COMMENTS	8/14/18
4	STAFF COMMENTS	7/26/18
5	STAFF COMMENTS - PLAN REVISION	8/17/18

Vested Rights
 The Plan constitutes the specific development plan as defined in Section 246B-101, et seq., C.R.S., and Chapter 14 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cook Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JSL DATE: 05-01-2016
 DRAWN BY: JSL SCALE: AS SHOWN
 CHECKED BY: JSL
 JOB NO.:
 DWG NAME:

**PARTIAL
 IRRIGATION
 PLAN - 2**

IR1.2



HydroSystems-KDJ, Inc.
 889 Fuller Street, Suite 200
 Lakewood, Colorado 80401
 303-985-5377
 303-985-5484 (fax)



REFER TO SHEET

- IR1.0 IRRIGATION OVERALL PLAN
- IR1.1 IRRIGATION NOTES
- IR1.1 IRRIGATION SCHEDULE
- IR1.1 TO IR1.3 IRRIGATION PLAN

CONTROLLER LOCATION "A"

PEDESTAL WALL MOUNT ONE 86 STATION WEATHERMATIC 2-WIRE CONTROLLER AT INDICATED LOCATION. 120 VOLT POWER IS AVAILABLE WITHIN 40 FT. OF CONTROLLER LOCATION FROM RESIDENTIAL PEDESTAL ELECTRICAL METER. WIRE/CONDUIT, STEP-DOWN TRANSFORMER AND POWER CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODES. EXTEND FISH-SHEATHED CABLE FROM THE FLOW SENSOR AND 4 #14 UFIL WIRES (TWO BLUE AND TWO ORANGE) FROM MASTER VALVE TO ASSOCIATED CONTROLLER. CONNECT WIRES TO THE APPROPRIATE SENSOR INPUT PORTS. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL CONTROLLER LOCATION SHALL BE APPROVED BY CONSULTANT PRIOR TO INSTALLATION. MOUNT ONE RAIN SENSOR ON POLE WHERE THERE IS 20 FT. OF CLEARANCE FROM ANY OVERHANG OR OBSTRUCTING FEATURE. CONNECT RAIN GUAGE WIRES TO IRRIGATION CONTROLLER SENSOR PORT THROUGH CONDUIT/INSTALL RAIN SENSOR RECEIVER IN CONTROLLER ENCLOSURE. FINAL RAIN SENSOR LOCATION SHALL BE APPROVED BY CONSULTANT PRIOR TO INSTALLATION.

POINT OF CONNECTION #1 - 1" NON-POTABLE

PEAK FLOW REQUIREMENT: 20 GPM. REQUIRED STATIC PRESSURE: (TBD) PSI
 TIE ONTO EXISTING 1" COPPER STUB-OUT DOWNSTREAM OF WATER METER AT 36" DEPTH IN THE APPROXIMATE LOCATION. EXTEND 1" TYPE K SOFT COPPER AT 36" MINIMUM DEPTH TO BACKFLOW PREVENTER LOCATION. INSTALL ONE 1" STOP AND WASTE VALVE, ONE 1" REDUCED PRESSURE BACKFLOW PREVENTER WITH PROTECTIVE ENCLOSURE, ONE MANUAL DRAIN VALVE, ONE QUICK-CLOSING VALVE, ONE 1" FLOW SENSOR, ONE 1" MASTER VALVE, ONE 1.5" GATE VALVE, AND EXTEND P.V.G. MAINLINE AS SHOWN. EXTEND ONE FISH-SHEATHED CABLE FROM FLOW SENSOR TO DATA RETRIEVAL UNIT LOCATED IN CONTROLLER "A". EXTEND 4 UFIL #14 WIRE (TWO ORANGE AND TWO BLUE) AND CONNECT 2 OF THE WIRES FROM THE MASTER VALVE TO THE DATA RETRIEVAL BOARD IN CONTROLLER "A". SEE DETAIL SHEET FOR REQUIRED PIPE LENGTHS UPSTREAM AND DOWNSTREAM OF FLOW SENSING UNIT. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL BACKFLOW PREVENTER LOCATION SHALL BE REVIEWED AND APPROVED BY CONSULTANT PRIOR TO INSTALLATION.



KEY MAP
 NORTH

IRRIGATION WITHIN THE ROW AREAS, SHOWING THAT MAINLINE, WIRES AND CONTROL VALVES WILL BE INSTALLED WITH THIS SET OF PLANS. ROW IRRIGATION WILL BE ADDED TO THIS IRRIGATION TAP, CONTROLLER AND MAINLINE LAYOUT, IN A SEPARATE ROW PLAN SET.

IRRIGATION WITHIN THE ROW AREAS, SHOWING THAT MAINLINE, WIRES AND CONTROL VALVES WILL BE INSTALLED WITH THIS SET OF PLANS. ROW IRRIGATION WILL BE ADDED TO THIS IRRIGATION TAP, CONTROLLER AND MAINLINE LAYOUT, IN A SEPARATE ROW PLAN SET.

IRRIGATION WITHIN THE ROW AREAS, SHOWING THAT MAINLINE, WIRES AND CONTROL VALVES WILL BE INSTALLED WITH THIS SET OF PLANS. ROW IRRIGATION WILL BE ADDED TO THIS IRRIGATION TAP, CONTROLLER AND MAINLINE LAYOUT, IN A SEPARATE ROW PLAN SET.



SEE SHEET IR-1.1

SEE SHEET IR-1.2

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 IRRIGATION PLANS

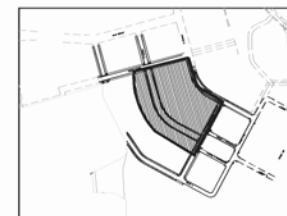
REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	5/28/18
2	STAFF COMMENTS	8/30/18
3	STAFF COMMENTS	8/14/18
4	STAFF COMMENTS	7/26/18
5	STAFF COMMENTS - PLUM REVIEW	3/27/18

Vegetation
 The Plan contains a site specific development plan as defined in Section 24a-101, et seq., C.R.S. and Chapter 14 of the Greater Municipal Code, outside of the Superior Town Hall, 124 East Cook Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JSL DATE: 05-28-2016
 DRAWN BY: JSL SCALE: AS SHOWN
 CHECKED BY: JSL
 JOB NO.:
 DWG NAME:

PARTIAL IRRIGATION PLAN - 3

IR1.3



KEY MAP

LUMINAIRE SCHEDULE

LABEL	SYMBOL	DESCRIPTION	COLOR TEMP.	BUG RATING	APPROX. FIXTURES	APPROX. LUMENS	MOUNTING	LLF	QTY
W01	⊗	(1) WALL-MOUNTED FULL CUTOFF LED SCORCE WITH INTEGRAL DRIVER MOUNTED AT FRONT ENTRIES. NOTE: RECESSED DOWNLIGHT OPTIONAL AT THIS LOCATION IN LIES OF WALL SCORCE	3000K	-	8	200 - 1000	SURFACE WALL OR RECESSED OPTIONAL	1.00	62
W02	⊗	(1) WALL-MOUNTED FULL CUTOFF LED SCORCE WITH INTEGRAL DRIVER MOUNTED ABOVE GARAGES	3000K	-	18	605	SURFACE WALL	1.00	62
W03	⊗	(1) CEILING RECESSED LED DOWNLIGHT	3000K	-	8	650	CEILING RECESSED	1.00	55
W04	⊗	(1) WALL-MOUNTED BARN STYLE GOOSENECK LED SCORCE	3000K	-	15	1000	SURFACE WALL	1.00	110
G01	⊗	(1) LOW OUTPUT LED BOLLARD PATHLIGHT WITH INTEGRAL DRIVER	3000K	-	10	720	GROUND	1.00	34
G02	⊗	(1) GROUND MOUNTED DIRECTIONAL LED LANDSCAPE ACCENT LIGHT	2500K	-	3.6	196	GROUND	1.00	20
G03	⊗	(1) 12' PEDESTRIAN POLE MOUNTED LED LUMINAIRE	3000K	01-01-01	47	2150	GROUND / POLE	1.00	9

NOTES:
1. ALL GARAGE-MOUNTED WALL LIGHTS USED TO ILLUMINATE INTERNAL DRIVE AISLES ARE TO BE LIGHTED FROM DUSK UNTIL DAWN. THE ASSOCIATED METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR ENFORCEMENT.
2. PER TOWN OF SUPERIOR, BUILDERS MAY SELECT FROM THE PORCH LIGHTING FEATURE OPTIONS SHOWN (TYPE W01), EACH BUILDER MAY ONLY EMPLOY ONE OF THE OPTIONS.

ILLUMINANCE CALCULATION SUMMARY - WALKWAYS AND DRIVEWAYS (fc)

	avg	max	min	avg/min
TYPICAL CUT-THROUGH WALKWAYS	0.22	0.9	0.0	N/A
BLOCK 25 DRIVEWAYS	0.47	4.1	0.0	N/A
BLOCK 13 DRIVEWAYS	0.91	4.1	0.2	4.6
NORTH COURTYARD WALKWAYS	0.23	2.1	0.0	N/A
SOUTH COURTYARD WALKWAYS	0.19	1.7	0.0	N/A

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS

NO.	DESCRIPTION	DATE
1	START COMMENTS	05/01/18
2	START COMMENTS	06/14/18
3	START COMMENTS	06/14/18
4	START COMMENTS	07/27/18
5	START COMMENTS - PUMP REVISION	08/13/18

Vented lights.
This Plan constitutes a site specific development plan as defined in Section 24-66-101, et seq., C.R.S. and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 13, 2015.

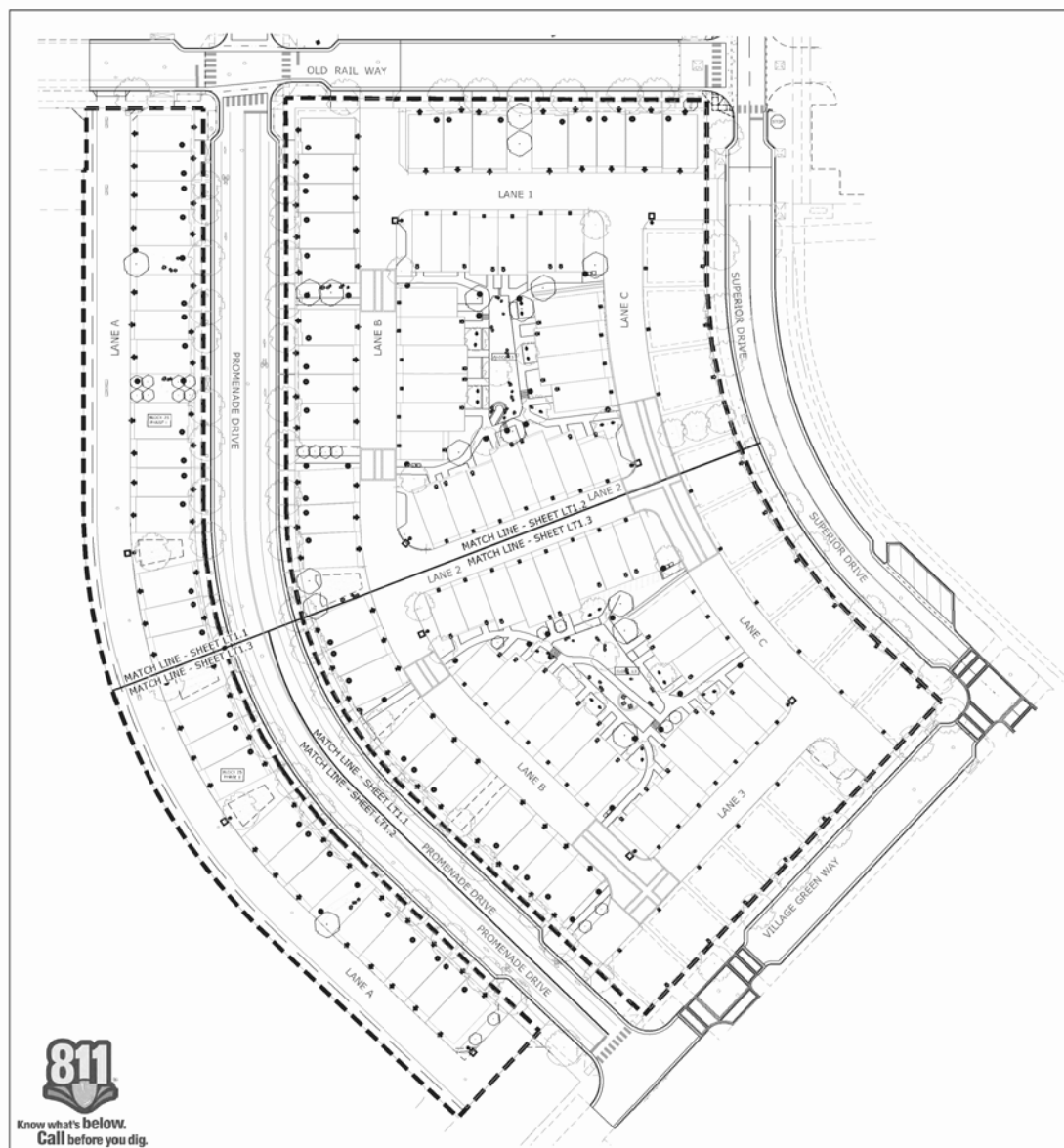
DESIGNED BY: AS DATE: 4/12/2018
DRAWN BY: JB SCALE: AS SHOWN
CHECKED BY: GA
FOR NO. 20180004
DWG NAME:

OVERALL SITE LIGHTING PLAN

SHEET:
LT1.0

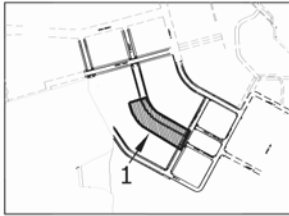


PLAN - OVERALL VIEW

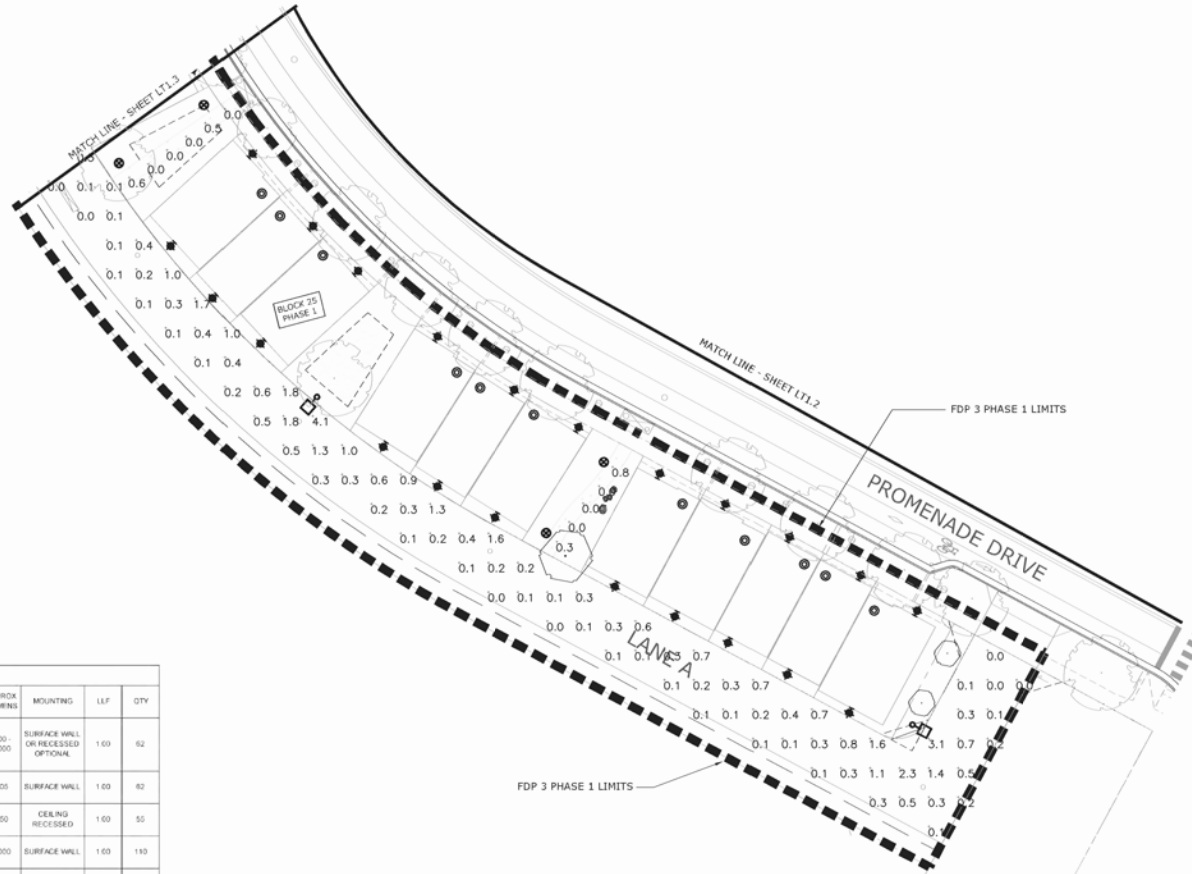




Know what's below.
Call before you dig.



KEY MAP



LUMINAIRE SCHEDULE									
LABEL	SYMBOL	DESCRIPTION	COLOR TEMP	BUD. RATING	APPROX. WATS.	APPROX. LUMENS	MOUNTING	LEF	QTY
W01	⊙	1) WALL-MOUNTED FULL CUTOFF LED SCIENCE WITH INTEGRAL DRIVER MOUNTED AT FRONT ENTRIES. NOTE: RECESSED DOWNLIGHT OPTIONAL AT THIS LOCATION IN LIEU OF WALL SCIENCE.	3000K	-	8	200-1000	SURFACE WALL OR RECESSED OPTIONAL	1.60	62
W02	⊠	1) WALL-MOUNTED FULL CUTOFF LED SCIENCE WITH INTEGRAL DRIVER MOUNTED ABOVE GARAGES.	3000K	-	18	800	SURFACE WALL	1.60	62
W03	⊙	1) CEILING RECESSED LED DOWNLIGHT	3000K	-	8	650	CEILING RECESSED	1.60	55
W04	⬆	1) WALL-MOUNTED BARN STYLE GOOSENECK LED SCIENCE	3000K	-	15	1000	SURFACE WALL	1.60	110
W05	⊙	1) LOW OUTPUT LED BOLLARD PATHLIGHT WITH INTEGRAL DRIVER	3000K	-	10	720	GROUND	1.60	34
W02	⊙	1) GROUND-MOUNTED DIRECTIONAL LED LANDSCAPE ACCENT LIGHT	2800K	-	31	196	GROUND	1.60	20
W03	⊙	1) 12-18 PEDESTRIAN POLE-MOUNTED LED LUMINAIRE	3000K	B1-411-G1	47	2150	GROUND / POLE	1.60	9

NOTES:
1. ALL GARAGE-MOUNTED WALL LIGHTS USED TO ILLUMINATE INTERNAL DRIVE AISLES ARE TO BE LIGHTED FROM DARK UNTIL DAWN. THE ASSOCIATED METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR ENFORCEMENT.
2. FOR TOWN OF SUPERIOR, BUILDERS MAY SELECT FROM THE PORCH LIGHTING FIXTURE OPTIONS SHOWN (TYPE W01). EACH BUILDER MAY ONLY EMPLOY ONE OF THE OPTIONS.

CLANTON & ASSOCIATES
LIGHTING DESIGN AND ENGINEERING

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/01/18
2	START COMMENTS	06/14/18
3	START COMMENTS	07/11/18
4	START COMMENTS - PLAN REVISION	08/13/18

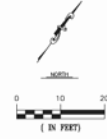
Vented lights.
This Plan constitutes a site specific development plan as defined in Section 24-64-101, et seq., C.R.S. and Chapter 14 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Chad Creek Drive, Superior, Colorado. The terms and other conditions of these vented rights are further described in the development agreement dated March 13, 2013.

DESIGNED BY: AS DATE: 4/12/2018
DRAWN BY: JB SCALE: AS SHOWN
CHECKED BY: GA
FOR NO. 220626424
DWG NAME:

PARTIAL LIGHTING PLAN 1

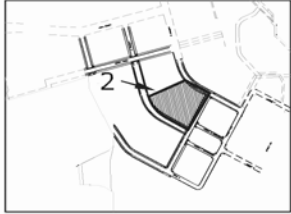
SHEET:
LT1.1

PLAN - VIEW 1

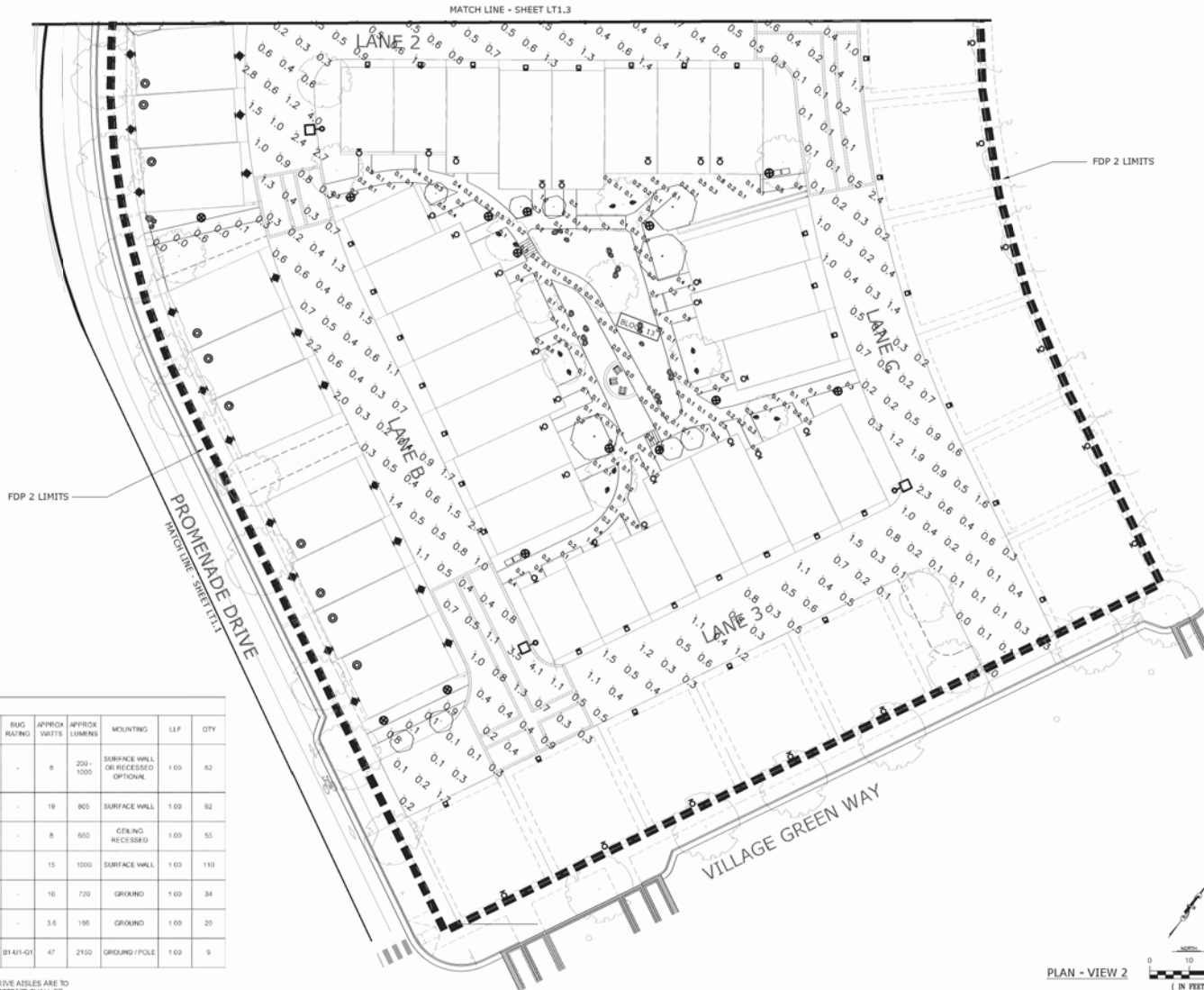




Know what's below.
Call before you dig.



KEY MAP



LABEL	SYMBOL	DESCRIPTION	COLOR TEMP	BUG RATING	APPROX WATTS	APPROX LUMENS	MOUNTING	LLF	QTY
W01	⊙	(1) WALL MOUNTED FULL CUTOFF LED SCORCE WITH INTEGRAL DRIVER MOUNTED AT FRONT ENTRIES. NOTE: RECESSED DOWNLIGHT OPTIONAL AT THIS LOCATION IN LIEU OF WALL SCORCE.	3000K	-	8	200-1000	SURFACE WALL OR RECESSED OPTIONAL	1.00	62
W02	⊙	(1) WALL MOUNTED FULL CUTOFF LED SCORCE WITH INTEGRAL DRIVER MOUNTED ABOVE GARAGES.	3000K	-	18	800	SURFACE WALL	1.00	62
W03	⊙	(1) CEILING RECESSED LED DOWNLIGHT	3000K	-	8	800	CEILING RECESSED	1.00	55
W04	⊙	(1) WALL MOUNTED BARN STYLE GOOSENECK LED SCORCE	3000K	-	15	1000	SURFACE WALL	1.00	110
G01	⊙	(1) LOW OUTPUT LED BOLLARD PATHLIGHT WITH INTEGRAL DRIVER	3000K	-	10	720	GROUND	1.00	34
G02	⊙	(1) GROUND MOUNTED DIRECTIONAL LED LANDSCAPE ACCENT LIGHT	2800K	-	3.0	196	GROUND	1.00	20
G03	⊙	(1) 12-F PEDIESTRIAN POLE MOUNTED LED LUMINAIRE	3000K	01-01-01	47	2150	GROUND / POLE	1.00	9

NOTES:
1. ALL GARAGE MOUNTED WALL LIGHTS USED TO ILLUMINATE INTERNAL DRIVE ASSES ARE TO BE LIGHTED FROM DUSK UNTIL DAWN. THE ASSOCIATED METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR ENFORCEMENT.
2. FOR TOWN OF SUPERIOR, BUILDERS MAY SELECT FROM THE PORCH LIGHTING FIXTURE OPTIONS SHOWN (W01). EACH BUILDER MAY ONLY EMPLOY ONE OF THE OPTIONS.

CLANTON & ASSOCIATES
LIGHTING DESIGN AND ENGINEERING

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

NO.	DESCRIPTION	DATE
1	SPOT COMMENTS	06/11/18
2	SPOT COMMENTS	06/11/18
3	SPOT COMMENTS	06/11/18
4	SPOT COMMENTS	07/11/18
5	SPOT COMMENTS - PLUM REVISION	08/11/18

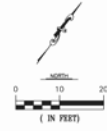
Vented Lights:
This Plan complies with site specific development plan as defined in Section 24-64-011, et seq., C.R.S. and Chapter 14 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vented lights are further described in the development agreement dated March 13, 2013.

DESIGNED BY: AS DATE: 6/11/2018
DRAWN BY: JB SCALE: AS SHOWN
CHECKED BY: GA FOR NO. 1 - 2018/06/11
DWG NAME:

PARTIAL LIGHTING PLAN 2

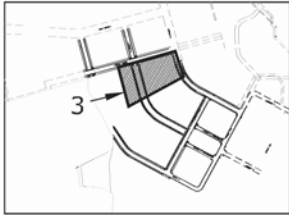
SHEET: LT1.2

PLAN - VIEW 2





Know what's below.
Call before you dig.



KEY MAP

NORTH



(IN FEET)

FDP 3 PHASE 1 LIMITS

NOTES:
1. ALL GARAGE-MOUNTED WALL LIGHTS USED TO ILLUMINATE INTERNAL DRIVE AISLES ARE TO BE LIGHTED FROM DUCK LINTIL DOWN. THE ASSOCIATED METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR ENFORCEMENT.
2. FOR TOWN OF SUPERIOR, BUILDERS MAY SELECT FROM THE PORCH LIGHTING FEATURE OPTIONS SHOWN (W01). EACH BUILDER MAY ONLY EMPLOY ONE OF THE OPTIONS.

LUMINAIRE SCHEDULE

LABEL	SYMBOL	DESCRIPTION	COLOR TEMP.	BUG RATING	APPROX. WATTS	APPROX. LUMENS	MOUNTING SURFACE WALL OR RECESSED OPTIONAL	LLF	QTY
W01	⊙	14" WALL MOUNTED FULL CUTOFF LED SCORCE WITH INTEGRAL DRIVER MOUNTED AT FRONT ENTRIES. NOTE: RECESSED DOWNLIGHT OPTIONAL AT THIS LOCATION IN CASE OF WALL SCORCE	3000K	-	8	200-1000	SURFACE WALL OR RECESSED OPTIONAL	1.00	62
W02	⊙	14" WALL MOUNTED FULL CUTOFF LED SCORCE WITH INTEGRAL DRIVER MOUNTED NEAR GARAGES	3000K	-	18	800	SURFACE WALL	1.00	62
W03	⊙	14" CEILING RECESSED LED DOWNLIGHT	3000K	-	8	450	CEILING RECESSED	1.00	53
W04	⊙	14" WALL MOUNTED BARN STYLE GOOSENECK LED SCORCE	3000K	-	15	1000	SURFACE WALL	1.00	110
001	⊙	14" CEILING RECESSED LED DOWNLIGHT	3000K	-	10	720	GROUND	1.00	34
002	⊙	14" GROUND MOUNTED DIRECTIONAL LED LANDSCAPE ACCENT LIGHT	2900K	-	2.6	190	GROUND	1.00	20
003	⊙	14" 12" PEDIESTRIAN POLE MOUNTED LED LUMINAIRE	3000K	B1 U1-01	41	2150	GROUND / POLE	1.00	9

CLANTON & ASSOCIATES

LIGHTING DESIGN AND ENGINEERING

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS

NO.	DESCRIPTION	DATE
1	START COMMENTS - DATE 01/20/18	
2	START COMMENTS - DATE 01/21/18	
3	START COMMENTS - DATE 01/22/18	
4	START COMMENTS - DATE 01/23/18	
5	START COMMENTS - DATE 01/24/18	

Vested Rights
This Plan constitutes a site specific development plan as defined in Section 24-66-101, et seq., C.R.S. and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 13, 2013.

DESIGNED BY: AS DATE 01/20/18
DRAWN BY: JB SCALE AS SHOWN
CHECKED BY: GA
FOR NO. 20180004
DWG NAME:

PARTIAL LIGHTING PLAN 3

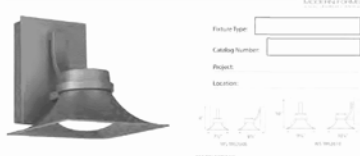
SHEET: LT1.3

PLAN - VIEW 3

MATCH LINE - SHEET LT1.1

MATCH LINE - SHEET LT1.2

PASADENA - model WS-W26
LED Interior & Exterior Sconce



Fixture Type:
 Catalog Number:
 Project:
 Location:

PRODUCT DESCRIPTION
 This sconce is the perfect choice for the home decorator. It features a modern design with a wide range of finishes and is available in a variety of sizes. The sconce is made of high-quality materials and is designed to last for many years.

FEATURES

- 1/2" x 1/2" LED surface-mount LED light
- Dark finish only
- Replaceable LED bulb (not included)
- Not dimmable when used with compatible dimmer
- 100% dimmable
- Includes mounting hardware (not included)
- 100% dimmable
- 100% dimmable
- 100% dimmable
- 100% dimmable

ORDER NUMBER

Model	Finish	Height	Width	Depth	Weight
WS-W26-01	Black	4.5"	4.5"	4.5"	0.5 lbs

Company: WS-W26-01

1 TYPE 'W01' ENTRY - OPTION 1 - WALL SCONCE
 LT1.4 NOT TO SCALE

TUBE ARCHITECTURAL DS-W505
LED Wall Mounts



PRODUCT DESCRIPTION
 The Tube Architectural LED wall mount is a modern, minimalist design that is perfect for any interior or exterior space. It features a sleek, cylindrical shape and is available in a variety of finishes.

FEATURES

- High-quality materials and construction
- Easy to install and maintain
- Available in a variety of finishes
- 100% dimmable
- 100% dimmable
- 100% dimmable
- 100% dimmable

SPECIFICATIONS

Height: 10" - 12"
 Diameter: 3" - 4"
 Weight: 1.5 lbs - 2 lbs

ORDERING NUMBER

Order No.	Color Temp.	CR	Beam	CRP	Energy Star	Size	Light Distribution	Finish
DS-W505-01	3000K	90	30°	100%	Yes	3"	Spot	Black
DS-W505-02	3000K	90	30°	100%	Yes	4"	Spot	Black
DS-W505-03	3000K	90	30°	100%	Yes	3"	Spot	White
DS-W505-04	3000K	90	30°	100%	Yes	4"	Spot	White
DS-W505-05	3000K	90	30°	100%	Yes	3"	Spot	Brushed Nickel
DS-W505-06	3000K	90	30°	100%	Yes	4"	Spot	Brushed Nickel
DS-W505-07	3000K	90	30°	100%	Yes	3"	Spot	Polished Nickel
DS-W505-08	3000K	90	30°	100%	Yes	4"	Spot	Polished Nickel
DS-W505-09	3000K	90	30°	100%	Yes	3"	Spot	Oil Rubbed Bronze
DS-W505-10	3000K	90	30°	100%	Yes	4"	Spot	Oil Rubbed Bronze

DS-W505

Company: DS-W505-01

2 TYPE 'W01' ENTRY - OPTION 2 - WALL SCONCE
 LT1.4 NOT TO SCALE

PHILIPS LIGHTOLIER
Downlighting



LiteCaster
 4" Round downlight
 500 lumens

PRODUCT DESCRIPTION
 Philips LiteCaster LED Downlighting features a 4" round design that provides a wide range of lighting options. It is available in a variety of finishes and is designed to last for many years.

FEATURES

- High-quality materials and construction
- Easy to install and maintain
- Available in a variety of finishes
- 100% dimmable
- 100% dimmable
- 100% dimmable
- 100% dimmable

SPECIFICATIONS

Height: 1.5"
 Diameter: 4"
 Weight: 0.5 lbs

ORDERING NUMBER

Order No.	Color Temp.	CR	Beam	CRP	Energy Star	Size	Light Distribution	Finish
PH-LC-01	3000K	90	30°	100%	Yes	4"	Spot	Black
PH-LC-02	3000K	90	30°	100%	Yes	4"	Spot	White
PH-LC-03	3000K	90	30°	100%	Yes	4"	Spot	Brushed Nickel
PH-LC-04	3000K	90	30°	100%	Yes	4"	Spot	Polished Nickel
PH-LC-05	3000K	90	30°	100%	Yes	4"	Spot	Oil Rubbed Bronze

PH-LC-01

Company: PH-LC-01

3 TYPE 'W01' ENTRY - OPTION 3 - DOWN LIGHT
 LT1.4 NOT TO SCALE

RUBIX - model WS-W2509, WS-W2510
LED Wall Mount



WAC LIGHTING
 Responsible Lighting™

PRODUCT DESCRIPTION
 The Rubix LED wall mount is a modern, minimalist design that is perfect for any interior or exterior space. It features a sleek, rectangular shape and is available in a variety of finishes.

FEATURES

- High-quality materials and construction
- Easy to install and maintain
- Available in a variety of finishes
- 100% dimmable
- 100% dimmable
- 100% dimmable
- 100% dimmable

SPECIFICATIONS

Height: 4"
 Width: 4"
 Depth: 1.5"
 Weight: 0.5 lbs

ORDERING NUMBER

Order No.	Color Temp.	CR	Beam	CRP	Energy Star	Size	Light Distribution	Finish
WS-W2509-01	3000K	90	30°	100%	Yes	4"	Spot	Black
WS-W2509-02	3000K	90	30°	100%	Yes	4"	Spot	White
WS-W2509-03	3000K	90	30°	100%	Yes	4"	Spot	Brushed Nickel
WS-W2509-04	3000K	90	30°	100%	Yes	4"	Spot	Polished Nickel
WS-W2509-05	3000K	90	30°	100%	Yes	4"	Spot	Oil Rubbed Bronze

WS-W2509-01

Company: WS-W2509-01

4 TYPE 'W02' WALL SCONCE - GARAGE
 LT1.4 NOT TO SCALE

CLANTON & ASSOCIATES
 LIGHTING DESIGN AND ENGINEERING

SUPERIOR TOWN CENTER
 FPD 2 (BLOCK 13) & FPD 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

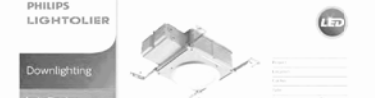
REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	05/15/18
2	ISSUE FOR PERMITS	06/15/18
3	ISSUE FOR PERMITS	06/15/18
4	ISSUE FOR PERMITS	07/15/18
5	ISSUE FOR PERMITS	08/15/18

DESIGNED BY: ASL **DATE:** 01/20/18
DRAWN BY: TB **SCALE:** AS SHOWN
CHECKED BY: GSA
FOR NO.: 2018000000
DWG NAME:

LIGHTING DETAILS
 SHEET: **LT1.4**

PHILIPS LIGHTOLIER
Downlighting



LiteCaster
 4" Round downlight
 500 lumens

PRODUCT DESCRIPTION
 Philips LiteCaster LED Downlighting features a 4" round design that provides a wide range of lighting options. It is available in a variety of finishes and is designed to last for many years.

FEATURES

- High-quality materials and construction
- Easy to install and maintain
- Available in a variety of finishes
- 100% dimmable
- 100% dimmable
- 100% dimmable
- 100% dimmable

SPECIFICATIONS

Height: 1.5"
 Diameter: 4"
 Weight: 0.5 lbs

ORDERING NUMBER

Order No.	Color Temp.	CR	Beam	CRP	Energy Star	Size	Light Distribution	Finish
PH-LC-01	3000K	90	30°	100%	Yes	4"	Spot	Black
PH-LC-02	3000K	90	30°	100%	Yes	4"	Spot	White
PH-LC-03	3000K	90	30°	100%	Yes	4"	Spot	Brushed Nickel
PH-LC-04	3000K	90	30°	100%	Yes	4"	Spot	Polished Nickel
PH-LC-05	3000K	90	30°	100%	Yes	4"	Spot	Oil Rubbed Bronze

PH-LC-01

Company: PH-LC-01

5 TYPE 'W03' ENTRY - RECESSED DOWN LIGHT - WONDERLAND HOMES
 LT1.4 NOT TO SCALE

LAMPS PLUS
 Warehouse 9 1/2" Barn Black Gooseneck Outdoor Wall Light



PRODUCT DESCRIPTION
 The Warehouse 9 1/2" Barn Black Gooseneck Outdoor Wall Light is a classic, rustic design that is perfect for any exterior space. It features a wide, shallow shade and is available in a variety of finishes.

FEATURES

- High-quality materials and construction
- Easy to install and maintain
- Available in a variety of finishes
- 100% dimmable
- 100% dimmable
- 100% dimmable
- 100% dimmable

SPECIFICATIONS

Height: 9 1/2"
 Width: 9 1/2"
 Depth: 4 1/2"
 Weight: 1.5 lbs

ORDERING NUMBER

Order No.	Color Temp.	CR	Beam	CRP	Energy Star	Size	Light Distribution	Finish
LP-W9-01	3000K	90	30°	100%	Yes	9 1/2"	Spot	Black
LP-W9-02	3000K	90	30°	100%	Yes	9 1/2"	Spot	White
LP-W9-03	3000K	90	30°	100%	Yes	9 1/2"	Spot	Brushed Nickel
LP-W9-04	3000K	90	30°	100%	Yes	9 1/2"	Spot	Polished Nickel
LP-W9-05	3000K	90	30°	100%	Yes	9 1/2"	Spot	Oil Rubbed Bronze

LP-W9-01

Company: LP-W9-01

6 TYPE 'W04' WALL SCONCE - WONDERLAND HOMES
 LT1.4 NOT TO SCALE

ASHBERY PATH LIGHT
 Project: 04/18/18



PRODUCT DESCRIPTION
 The Ashbery Path Light is a classic, rustic design that is perfect for any exterior space. It features a wide, shallow shade and is available in a variety of finishes.

FEATURES

- High-quality materials and construction
- Easy to install and maintain
- Available in a variety of finishes
- 100% dimmable
- 100% dimmable
- 100% dimmable
- 100% dimmable

SPECIFICATIONS

Height: 18"
 Width: 18"
 Depth: 4 1/2"
 Weight: 1.5 lbs

ORDERING NUMBER

Order No.	Color Temp.	CR	Beam	CRP	Energy Star	Size	Light Distribution	Finish
AL-P18-01	3000K	90	30°	100%	Yes	18"	Spot	Black
AL-P18-02	3000K	90	30°	100%	Yes	18"	Spot	White
AL-P18-03	3000K	90	30°	100%	Yes	18"	Spot	Brushed Nickel
AL-P18-04	3000K	90	30°	100%	Yes	18"	Spot	Polished Nickel
AL-P18-05	3000K	90	30°	100%	Yes	18"	Spot	Oil Rubbed Bronze

AL-P18-01

Company: AL-P18-01

7 TYPE 'G01' PATHWAY BOLLARD
 LT1.4 NOT TO SCALE

DELTA STAR™
 Landscape Luminaire



PRODUCT DESCRIPTION
 The Delta Star landscape luminaire is a classic, rustic design that is perfect for any exterior space. It features a wide, shallow shade and is available in a variety of finishes.

FEATURES

- High-quality materials and construction
- Easy to install and maintain
- Available in a variety of finishes
- 100% dimmable
- 100% dimmable
- 100% dimmable
- 100% dimmable

SPECIFICATIONS

Height: 18"
 Width: 18"
 Depth: 4 1/2"
 Weight: 1.5 lbs

ORDERING NUMBER

Order No.	Color Temp.	CR	Beam	CRP	Energy Star	Size	Light Distribution	Finish
DS-18-01	3000K	90	30°	100%	Yes	18"	Spot	Black
DS-18-02	3000K	90	30°	100%	Yes	18"	Spot	White
DS-18-03	3000K	90	30°	100%	Yes	18"	Spot	Brushed Nickel
DS-18-04	3000K	90	30°	100%	Yes	18"	Spot	Polished Nickel
DS-18-05	3000K	90	30°	100%	Yes	18"	Spot	Oil Rubbed Bronze

DS-18-01

Company: DS-18-01

8 TYPE 'G02' LANDSCAPE LUMINAIRE
 LT1.4 NOT TO SCALE

NOTES:
 1. PER TOWN OF SUPERIOR, BUILDERS MAY SELECT FROM THE PORCH LIGHTING FIXTURE OPTIONS SHOWN (W01), EACH BUILDER MAY ONLY EMPLOY ONE OF THE OPTIONS.
 2. ALL GARAGE-MOUNTED WALL LIGHTS USED TO ILLUMINATE INTERNAL DRIVE AISLES ARE TO BE LIGHTED FROM DUSK UNTIL DAWN. THE ASSOCIATED METROPOLITAN DISTRICT SHALL BE RESPONSIBLE FOR ENFORCEMENT.

ASHBERY PEDESTRIAN



Lighting Facts*

ASHBERY PEDESTRIAN is a modern, minimalist luminaire designed for pedestrian walkways, plazas, and courtyards. It features a sleek, cylindrical design with a clear lens and a stainless steel finish. The luminaire is available in two heights: 6' and 8'. It is designed to provide a soft, even glow that is both functional and aesthetically pleasing.

Electrical

ASHBERY PEDESTRIAN is designed to be used with a standard 120V AC power source. It is compatible with both incandescent and LED lighting options. The luminaire is designed to be easy to install and maintain, with a simple wiring diagram provided for reference.

Pedestrian Type 3

ASHBERY PEDESTRIAN Type 3 is a 6-foot tall luminaire with a diameter of 4 inches. It is designed for use in pedestrian walkways and plazas. The luminaire is made of stainless steel and has a clear lens. It is available in two finishes: brushed stainless steel and polished stainless steel.

Pedestrian Type 5

ASHBERY PEDESTRIAN Type 5 is an 8-foot tall luminaire with a diameter of 4 inches. It is designed for use in pedestrian walkways and plazas. The luminaire is made of stainless steel and has a clear lens. It is available in two finishes: brushed stainless steel and polished stainless steel.

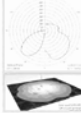
ASHBERY PEDESTRIAN Type 3

Lighting facts	
Height	6'-0"
Diameter	4"
Material	Stainless Steel
Finish	Brushed / Polished
Power	100W / 150W
Voltage	120V AC
Color Temperature	3000K / 4000K
Beam Spread	120°
Mounting	Surface / Pole Mount

ASHBERY PEDESTRIAN Type 5

Lighting facts	
Height	8'-0"
Diameter	4"
Material	Stainless Steel
Finish	Brushed / Polished
Power	100W / 150W
Voltage	120V AC
Color Temperature	3000K / 4000K
Beam Spread	120°
Mounting	Surface / Pole Mount

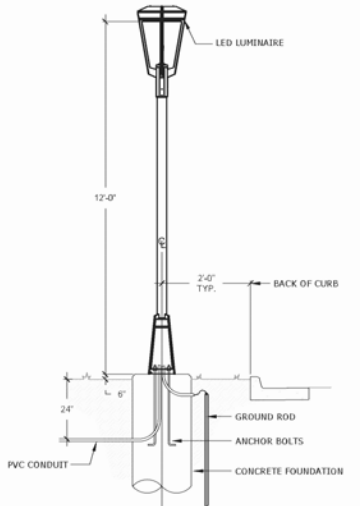
ASHBERY PEDESTRIAN Type 3



ASHBERY PEDESTRIAN Type 5



ASHBERY PEDESTRIAN



1 TYPE 'G03' PEDESTRIAN/ DRIVEWAY LUMINAIRE
NOT TO SCALE

2 TYPICAL DRIVE LIGHT
NOT TO SCALE

CLANTON & ASSOCIATES
LIGHTING DESIGN AND ENGINEERING

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	05/10/18
2	START COMMENTS	06/14/18
3	START COMMENTS	06/14/18
4	START COMMENTS	07/12/18
5	START COMMENTS - FINAL REVIEW	08/13/18

Vented lights,
This Plan constitutes a site specific development plan as defined in Section 24-46-101, et seq., C.R.S. and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vented lights are further described in the development agreement dated March 13, 2013.

DESIGNED BY: AS DATE: 4/12/2018
DRAWN BY: JB SCALE: AS SHOWN
CHECKED BY: GA
JOB NO.: 20180604
DWG NAME:

LIGHTING DETAILS

SHEET:
LT1.5



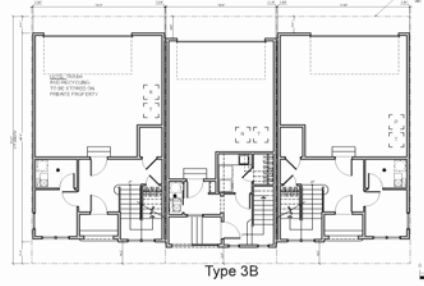
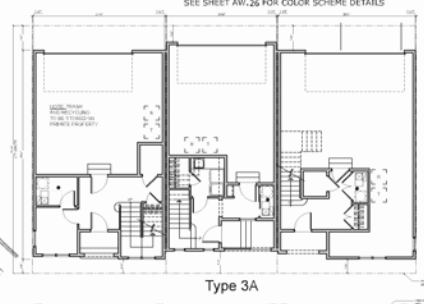
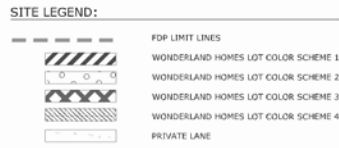
BUILDING TYPE INFORMATION:

	TYPE 3A	TYPE 3B	TYPE 4	TYPE 5
MAX HEIGHT:	50' + 4.5 STORES	50' + 4.5 STORES	50' + 4.5 STORES	50' + 4.5 STORES
CEILING HEIGHT:	49'3" + 4.5 STORES	49'3" + 4.5 STORES	49'3" + 4.5 STORES	49'3" + 4.5 STORES
FLOOR FLOOR AREA:	2627 SF	2599 SF	3445 SF	4040 SF
FLOOR FLOOR AREA:	3144 SF (0.103)	3100 SF (0.103)	4103 SF (0.135)	5176 SF (0.163)
LOT COVERAGE:	83.5%	83.5%	83.7%	83.7%
NET FLOOR AREA:	6555 SF (0.198)	7052 SF (0.198)	8299 SF (0.198)	10005 SF (0.198)
DRIFT FLOOR:	4, 2, 4	4, 2, 4	3, 1, 2, 3	3, 1, 2, 3, 4

UNIT INFORMATION: RESIDENTIAL TYPOLOGY 3-TOWNHOMES (1200-2500):

	UNIT 1	UNIT 2	UNIT 3	UNIT 4
UNIT AREA:	1840 SF	2041 SF	2299 SF	2498 SF
UNIT FLOOR AREA:	771 SF	771 SF	947 SF	910 SF
LOT AREA COVERAGE:	91.4% (0.472)	94.9% (0.472)	110.9% (0.472)	109.4% (0.472)
CORNER LOT AREA:	16A	16A	1357 SF (0.472)	1402 SF (0.472)
DRIFT CORNER:	11	11	18	15

NOTE: TRASH AND RECYCLING WILL NOT BE PLACED IN PUBLIC VIEW BEYOND THE TIME ALLOWED BY TOWN CODE FOR SERVICE PICKUP.



Typical Setback Conditions

DTJ DESIGN
 3101 1/2 Avenue Suite 130
 Boulder, Colorado 80501
 303.443.7333
 303.443.7334
 www.dtdesign.com

WONDERLAND HOMES
it's about the water.

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

REVISIONS

NO.	DESCRIPTION	DATE
1	SWAY COMMENTS	06/10/18
2	SWAY COMMENTS	06/10/18
3	SWAY COMMENTS	06/10/18
4	SWAY COMMENTS	06/10/18
5	SWAY COMMENTS REVISIONS	06/10/18

Vertical Rights:
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-66-101, et seq., C.M.S., and Chapter 18 of the Superior Municipal Code, outside of the Superior Town Plan, 124 East Cook Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: SHL DATE: 05/16/2018
DRAWN BY: SEBM SCALE:
CHECKED BY: BSLW
FOR WALK: 2018.058
DWG NAME:

WONDERLAND HOMES SITE PLAN

SHEET: **AW.01**





NOTES:

1. Elevations currently shown on flat lot condition. Individual units within each building type may step as necessary per site grading.
2. See Sheet AW.14 for color scheme details.

Building Type 3A
Front Elevation
Example of Color Scheme 1



DTJ DESIGN
3101 1/2 Avenue, Suite 130
Boulder, Colorado 80501
F 303.443.7533
F 303.443.7534
www.dtydesign.com



WONDERLAND HOMES
it's about the water.

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/18
2	START COMMENTS	06/16/18
3	START COMMENTS	06/16/18
4	START COMMENTS	06/16/18
5	START COMMENTS	06/16/18

Related 304018:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-58-101, et. seq., C.R.S., and Chapter 18 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coy Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 15, 2013.

DESIGNED BY: SHL DATE: 05/16/2018
DRAWN BY: SEBW SCALE:
CHECKED BY: BSL/DW
JOB NO.: 2018.058
DWG NAME:

BUILDING TYPE 3A FRONT ELEVATION



SHEET: **AW.02**



DTJ DESIGN
3101 1/2 Avenue, Suite 130
Boulder, Colorado 80501
T 303.443.7333
F 303.443.7534
www.dtydesign.com



SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/18
2	START COMMENTS	06/16/18
3	START COMMENTS	06/16/18
4	START COMMENTS	07/16/18
5	START COMMENTS REVISION	06/16/18

PUBLIC NOTICE:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-65-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, and is subject to the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: [] DATE: 05/16/2018
DRAWN BY: [] SCALE: []
CHECKED BY: []
JOB NO.: 2018-058
DWG NAME:

**BUILDING
TYPE 3A
SIDE
ELEVATIONS**

SHEET: **AW.03**





NOTES:

1. Elevations currently shown on flat lot condition. Individual units within each building type may step as necessary per site grading.
2. See Sheet AW.14 for color scheme details.

**Building Type 3A
Rear Elevation
Example of Color Scheme 1**



DTJ DESIGN
3101 1/2 Avenue, Suite 130
Boulder, Colorado 80501
T 303.443.7533
F 303.443.7534
www.dtdesign.com



WONDERLAND
HOMES
it's about the water.

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/18
2	START COMMENTS	06/16/18
4	START COMMENTS	07/19/18
5	START COMMENTS REWORKING	06/15/18

Vertical Rights:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-65(1)(c), et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, envelope of the Superior Town Hall, 124 East Oak Creek Drive, Superior, Colorado. The terms and other conditions of these vertical rights are further described in the development agreement dated March 15, 2013.

DESIGNED BY: <u>SBM</u>	DATE: <u>05/16/2018</u>
DRAWN BY: <u>SBM</u>	SCALE:
CHECKED BY: <u>BSL</u>	
FOR INFO: <u>2018.058</u>	
DWG NAME:	

**BUILDING
TYPE 3A
REAR
ELEVATION**



SHEET: **AW.04**



NOTES:

1. Elevations currently shown on flat lot condition. Individual units within each building type may step as necessary per site grading.
2. See Sheet AW.14 for color scheme details.

Building Type 3B
Front Elevation
Example of Color Scheme 2



DTJ DESIGN
3101 1st Avenue, Suite 130
Boulder, Colorado 80501
T 303.443.7533
F 303.443.7534
www.dtdesign.com



SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

NO.	DESCRIPTION	DATE
1	START COMMENTS	BUILDING
2	START COMMENTS	BUILDING
3	START COMMENTS	BUILDING
4	START COMMENTS	BUILDING
5	START COMMENTS	BUILDING

Visited Site:
This Plan complies with Site Specific Development Plan as defined in Section 24-50-101, et. seq., C.R.S., and Chapter 88 of the Superior Municipal Code, available at the Superior Town Hall, 124 Lock Crag Creek Drive, Superior, Colorado. The terms and other conditions of these visited site plans are further described in the Amendment agreement dated March 11, 2013.

DESIGNED BY: DATE: 05/16/2018
DRAWN BY: SCALE:
CHECKED BY:
JOB NO.: 2013.058
DWG NAME:

BUILDING TYPE 3B FRONT ELEVATION



SHEET: **AW.05**



DTJ DESIGN
 3101 1/2 Avenue, Suite 130
 Boulder, Colorado 80501
 T 303.443.7533
 F 303.443.7534
 www.dtydesign.com



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/18
2	START COMMENTS	06/16/18
3	START COMMENTS	06/16/18
4	START COMMENTS	06/16/18
5	START COMMENTS	06/16/18

Waived Rights:
 This Plan constitutes a Site Specific Development Plan as defined in Section 14-106-101, et seq., C.R.S., and Chapter 18 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cool Creek Drive, Superior, Colorado. The terms and other conditions of these waived rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: DATE: 06/15/2018
 DRAWN BY: SEEM SCALE:
 CHECKED BY: BSL/DW
 JOB NO.: 2018.058
 DRWG NAME:

BUILDING TYPE 3B SIDE ELEVATIONS

SHEET: **AW.06**



Hardie Panel SW7641 "Collanade Gray"
 Lap Siding SW6722 "Homburg Gray"



GFRC Base Smooth Finish SW 7641 "Collanade Gray"
 Stone Veneer "French White"
 Brick Veneer

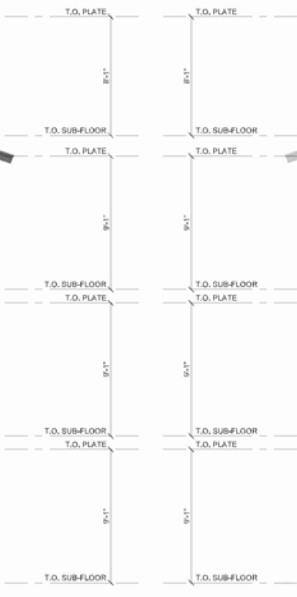
Building Type 3B
 Left Elevation
 Example of Color Scheme 2

Hardie Panel SW7641 "Collanade Gray"
 Lap Siding SW6722 "Homburg Gray"



Brick Veneer
 GFRC Base Smooth Finish SW 7641 "Collanade Gray"
 Stone Veneer

Building Type 3B
 Right Elevation
 Example of Color Scheme 2



48'-0" MAXIMUM HEIGHT (BASED ON GRADE LOCATIONS) MAX HEIGHT 55'-0"



Building Type 3B
Rear Elevation
Example of Color Scheme 2

NOTES:

1. Elevations currently shown on flat lot condition. Individual units within each building type may step as necessary per site grading.
2. See Sheet AW.14 for color scheme details.



DTJ DESIGN
3101 1/2 Avenue, Suite 130
Boulder, Colorado 80501
7303-443-7333
F 303-443-7534
www.dtdesign.com



WONDERLAND HOMES
it's about the water.

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

NO.	DESCRIPTION	DATE
1	SWH COMMENTS	06/06/18
2	SWH COMMENTS	06/06/18
3	SWH COMMENTS	06/06/18
4	SWH COMMENTS	06/06/18
5	SWH COMMENTS	06/06/18

Vertical Signage:
This Plan, Specification or Site Specific Development Plan as defined in Section 24-50-101, et. seq., C.R.S., and Chapter 88 of the Superior Municipal Code, available at the Superior Town Hall, 124 Lock Creek Drive, Superior, Colorado. The terms and other conditions of these vertical signs are further described in the sign placement agreement dated March 11, 2013.

DESIGNED BY: SHL DATE: 05/16/2018
DRAWN BY: SEB/M SCALE: _____
CHECKED BY: BS/DW
JOB NO.: 2018-058
DWG NAME: _____

BUILDING TYPE 3B REAR ELEVATION

SHEET: **AW.07**



DTJ DESIGN
 3101 1/2 Avenue, Suite 130
 Boulder, Colorado 80501
 T 303.443.7533
 F 303.443.7534
 www.dtdesign.com



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

#49.7 APPROXIMATE AVERAGE GRADE LOCATION (MIN) MAX HEIGHT: 35'-0"

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/18
2	START COMMENTS	06/06/18
3	START COMMENTS	06/16/18
4	START COMMENTS	07/26/18
5	START COMMENTS REWORKING	06/13/18

Vertical Rights:
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-6-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, regardless of the Superior Town Hall, 124 East Oak Creek Drive, Superior, Colorado. The terms and other conditions of these vertical rights are further described in the development agreement dated March 15, 2013.

DESIGNED BY: <u> </u>	DATE: <u>05/15/2018</u>
DRAWN BY: <u>SEBW</u>	SCALE: <u> </u>
CHECKED BY: <u>BSLW</u>	
FOR NO. <u>2018-058</u>	
DWG NAME: <u> </u>	

BUILDING TYPE 4 FRONT ELEVATION

SHEET: **AW.08**



Building Type 4
 Front Elevation
 Example of Color Scheme 3

- NOTES:**
1. Elevations currently shown on flat lot condition. Individual units within each building type may step as necessary per site grading.
 2. See Sheet AW.14 for color scheme details.



DTJ DESIGN
 3101 1/2 Avenue, Suite 130
 Boulder, Colorado 80501
 T 303.443.7533
 F 303.443.7534
 www.dtydesign.com



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

48'-0" (MINIMUM) AVERAGE GRADE LOCATIONS
 MAX HEIGHT 33'-0"

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/18
2	START COMMENTS	06/06/18
3	START COMMENTS	06/16/18
4	START COMMENTS	07/20/18
5	START COMMENTS REWORKING	06/16/18

Vertical Rights
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-610-121, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Chad Creek Drive, Superior, Colorado. The terms and other conditions of these vertical rights are further described in the development agreement dated March 15, 2013.

DESIGNED BY: <u>SEE</u>	DATE: <u>05/16/2018</u>
DRAWN BY: <u>SEBW</u>	SCALE: _____
CHECKED BY: <u>BSLW</u>	_____
FOR INFO: <u>2018.058</u>	_____
DWG NAME: _____	_____

BUILDING TYPE 4 SIDE ELEVATIONS

SHEET: **AW.09**



Building Type 4
Left Elevation
 Example of Color Scheme 3

Building Type 4
Right Elevation
 Example of Color Scheme 3





DTJ DESIGN
 3101 1/2 Avenue, Suite 130
 Boulder, Colorado 80501
 T 303.443.7533
 F 303.443.7534
 www.dtdesign.com



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

NO.	DESCRIPTION	DATE
1	START COMMENTS	09/26/24
2	START COMMENTS	09/26/24
3	START COMMENTS	09/26/24
4	START COMMENTS	09/26/24
5	START COMMENTS	09/26/24

Noted Rights:
 This Plan constitutes the Specific Development Plan as defined in Section 24-65-107, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Good Creek Drive, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: SEL | DATE: 06/16/2016
 DRAWN BY: SEBW | SCALE: _____
 CHECKED BY: BSLW
 JOB NO.: 2015.058
 DRG NAME: _____

BUILDING TYPE 4 REAR ELEVATION

SHEET: **AW.10**



**Building Type 4
 Rear Elevation
 Example of Color Scheme 3**

- NOTES:**
1. Elevations currently shown on flat lot condition. Individual units within each building type may step as necessary per site grading.
 2. See Sheet AW.14 for color scheme details.



DTJ DESIGN
 3101 1/2 Avenue, Suite 130
 Boulder, Colorado 80501
 T 303.443.7533
 F 303.443.7534
 www.dtdesign.com



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

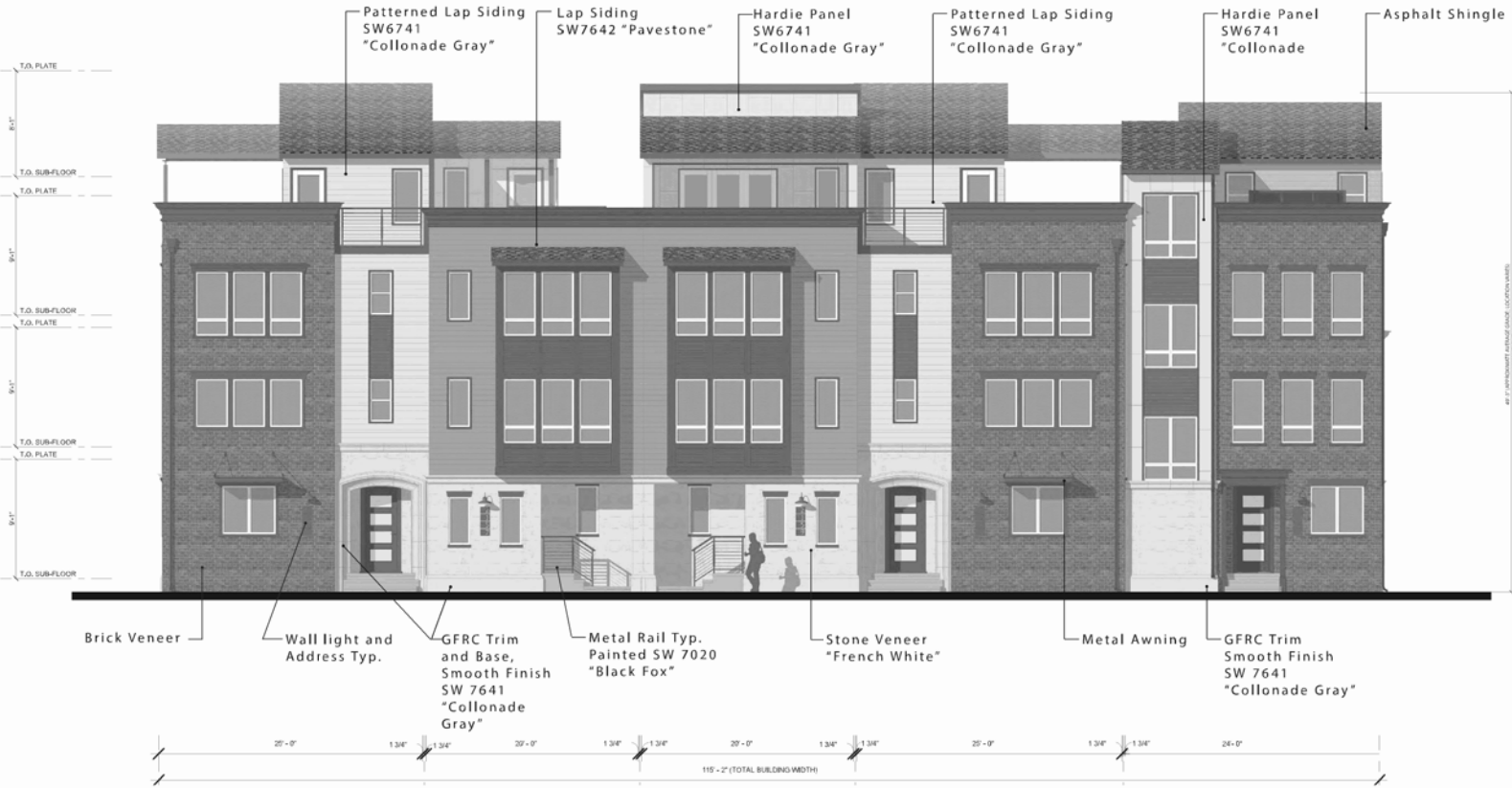
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/18
2	START COMMENTS	06/16/18
3	START COMMENTS	06/16/18
4	START COMMENTS	06/16/18
5	START COMMENTS-REVISIONS	08/15/18

NOTED: 05/20/18
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-506-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Oak Creek Street, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: <u>SH</u>	DATE: <u>05/15/2018</u>
DRAWN BY: <u>SEB/ML</u>	SCALE:
CHECKED BY: <u>BS/DM</u>	
FOR INFO: <u>2018.058</u>	
DWG NAME:	

BUILDING TYPE 5 FRONT ELEVATION

AW.11



- NOTES:**
1. Elevations currently shown on flat lot condition. Individual units within each building type may step as necessary per site grading.
 2. See Sheet AW.14 for color scheme details.

Building Type 5
 Front Elevation
 Example of Color Scheme 4





DTJ DESIGN
 3101 1/2 Avenue, Suite 130
 Boulder, Colorado 80501
 T 303.443.7533
 F 303.443.7534
 www.dtydesign.com



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/16
2	START COMMENTS	06/16/16
3	START COMMENTS	06/16/16
4	START COMMENTS	06/16/16
5	START COMMENTS	06/16/16

Noted Right:
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, envelope of the Superior Town Hall, 114 East Crisp Creek Drive, Superior, Colorado. The terms and other conditions of these noted rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: SH	DATE: 05/16/2016
DRAWN BY: SEBW	SCALE: _____
CHECKED BY: BSLW	_____
FOR INFO: 2015.058	_____
DWG NAME: _____	_____

BUILDING TYPE 5 SIDE ELEVATIONS

SHEET: **AW.12**



Patterned Lap Siding
 SW6741
 "Collonade Gray"

GFRC Base,
 Smooth Finish
 SW 7641
 "Collonade Gray"

Stone Veneer
 "French White"

Brick Veneer

Building Type 5
Left Elevation
Example of Color Scheme 4



Hardie Panel
 SW6741
 "Collonade Gray"

Lap Siding
 SW7642 "Pavestone"

Stone Veneer
 "French White"

Brick Veneer

Building Type 5
Right Elevation
Example of Color Scheme 4





DTJ DESIGN
 3101 1/2 Avenue, Suite 130
 Boulder, Colorado 80501
 T 303.443.7533
 F 303.443.7534
 www.dtydesign.com



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
 SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/05/16
2	START COMMENTS	06/04/16
3	START COMMENTS	06/04/16
4	START COMMENTS	05/26/16
5	START COMMENTS-REAR ELEVATION	05/26/16

Issued For:
 This Plan constitutes the Specific Development Plan as defined in Section 24-68-107, et seq., C.R.S., and Chapter 16 of the Superior Municipal Code, and shall be subject to the terms and other conditions of these vested rights as further described in the development agreement dated March 11, 2015.

DESIGNED BY: SEL | DATE: 06/16/2016
 DRAWN BY: SEBW | SCALE: _____
 CHECKED BY: BSLW
 JOB NO.: 2015-058
 DRG NAME: _____

BUILDING TYPE 5 REAR ELEVATION

SHEET: **AW.13**



**Building Type 5
 Rear Elevation
 Example of Color Scheme 4**

- NOTES:**
1. Elevations currently shown on flat lot condition. Individual units within each building type may step as necessary per site grading.
 2. See Sheet AW.14 for color scheme details.





DTJ DESIGN
 3101 1/2 Avenue, Suite 130
 Boulder, Colorado 80501
 T 303.443.7533
 F 303.443.7534
 www.dtydesign.com



SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)
SUPERIOR, COLORADO

REVISIONS		
NO.	DESCRIPTION	DATE
1	SPAF COMMENTS	06/18/16
2	SPAF COMMENTS	06/18/16
3	SPAF COMMENTS	06/18/16
4	SPAF COMMENTS	07/26/16
5	SPAF COMMENTS (PLAN PREVIEW)	08/10/16

Waived Rights:
 This Plan constitutes a Site Specific Development Plan as defined in Section 14-66-021, et seq., C.R.S., one Chapter 16 of the Superior Municipal Code, and/or the Superior Town Plan, 124 East Cool Creek Drive, Superior, Colorado. The terms and other conditions of these waived rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: SHL | DATE: 05/15/2016
 DRAWN BY: SEEM | SCALE: _____
 CHECKED BY: BSL/DW
 JOB NO.: 2015.058
 DRG NAME: _____

COLOR SCHEMES

SHEET: **AW.14**



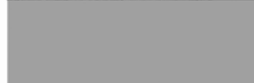
SUPERIOR TOWN CENTER: WONDERLAND HOMES

Prepared by: STELLA GILBERG + KRISTEN LAMPTON

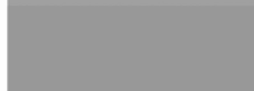
SCHEMATA
ROOF
 TANKING
 BLACK WALNUT
 (w/ DARK BRICK)



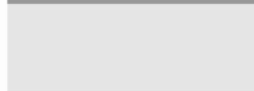
BC0P1
 SHEPHERD WALLBRICK
 DIVISION: BRICK



BC0P2
 SHEPHERD WALLBRICK
 DIVISION: FOLIAGE/STONE



BC0P3
 SHEPHERD WALLBRICK
 DIVISION: COLLEMAN/GRAY



BC0P4 + TRIM
 SHEPHERD WALLBRICK
 DIVISION: BLACK FOX



ACCENT
 SHEPHERD WALLBRICK
 DIVISION: THROAT/BLACK



BRICK
 MINEAR BRICK
 CACCASA

LIMESTONE
 CHICAGO/STONE
 FRENCH/WHITE

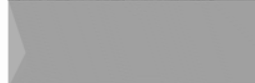
SUPERIOR TOWN CENTER: WONDERLAND HOMES

Prepared by: STELLA GILBERG + KRISTEN LAMPTON

SCHEMATA
ROOF
 TANKING
 BLACK WALNUT



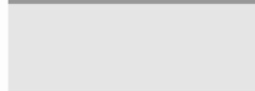
BC0P1
 SHEPHERD WALLBRICK
 DIVISION: ARTISAN/GRAY



BC0P2
 SHEPHERD WALLBRICK
 DIVISION: HARBURG/GRAY



BC0P3
 SHEPHERD WALLBRICK
 DIVISION: COLLEMAN/GRAY



BC0P4 + TRIM
 SHEPHERD WALLBRICK
 DIVISION: BLACK FOX



ACCENT
 SHEPHERD WALLBRICK
 DIVISION: SENNHEIMER



BRICK
 MINEAR BRICK
 CACCASA

LIMESTONE
 CHICAGO/STONE
 FRENCH/WHITE

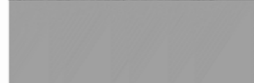
SUPERIOR TOWN CENTER: WONDERLAND HOMES

Prepared by: STELLA GILBERG + KRISTEN LAMPTON

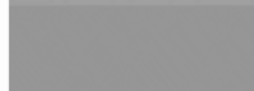
SCHEMATA
ROOF
 TANKING
 BLACK WALNUT



BC0P1
 SHEPHERD WALLBRICK
 DIVISION: MESSENGER/BAG



BC0P2
 SHEPHERD WALLBRICK
 DIVISION: POPPY/GRAY



BC0P3
 SHEPHERD WALLBRICK
 DIVISION: COLLEMAN/GRAY



BC0P4 + TRIM
 SHEPHERD WALLBRICK
 DIVISION: BLACK FOX



ACCENT
 SHEPHERD WALLBRICK
 DIVISION: SARKKROOP



BRICK
 MINEAR BRICK
 SLOPA

LIMESTONE
 CHICAGO/STONE
 FRENCH/WHITE

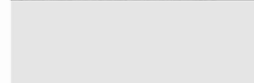
SUPERIOR TOWN CENTER: WONDERLAND HOMES

Prepared by: STELLA GILBERG + KRISTEN LAMPTON

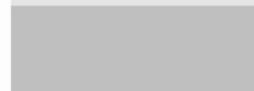
SCHEMATA
ROOF
 TANKING
 BLACK WALNUT



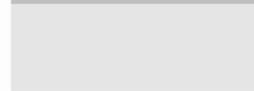
BC0P1
 SHEPHERD WALLBRICK
 DIVISION: COLLEMAN/GRAY



BC0P2
 SHEPHERD WALLBRICK
 DIVISION: FRENCH/STONE



BC0P3
 SHEPHERD WALLBRICK
 DIVISION: COLLEMAN/GRAY



BC0P4 + TRIM
 SHEPHERD WALLBRICK
 DIVISION: BLACK FOX



ACCENT
 SHEPHERD WALLBRICK
 DIVISION: BLACK/BEAN



BRICK
 MINEAR BRICK
 SLOPA

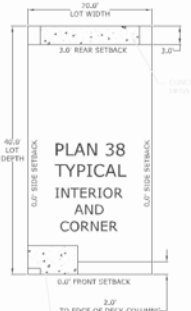
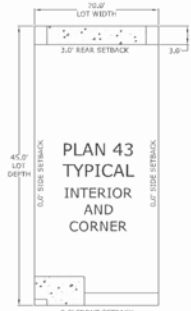
LIMESTONE
 CHICAGO/STONE
 FRENCH/WHITE



Note: Trash and Recycling will not be placed in public view beyond the time allowed by the Town code for service pickup.

INDIVIDUAL UNIT INFO						
PLAN	PLAN SF	FOOTPRINT	MIN. LOT SIZE	MIN. LOT SF	LOT COVERAGE	
30	1276 SF	600 SF	20' X 36'	720 SF	83%	83%
38	1634 SF	736 SF	20' X 43'	860 SF	80%	80%
43	1774 SF	836 SF	20' X 50'	1000 SF	84%	84%

BUILDING & COMPOSITE LOT INFORMATION										
BUILDING	BUILDING TYPE	BUILDING LAYOUT BY UNIT	MAX HEIGHT	BLOC SF	LOTS SF	LOT COVERAGE	FRONT	LANE SIDE	INTERIOR SIDE	REAR
A	6-PLEX	38-38-38-38-38-38	55'	4412 SF	5239 SF	84%	0'	0'	0'	3'
B	4-PLEX	43-43-43-38	55'	3244 SF	3843 SF	84%	0'	0'	0'	3'
C	7-PLEX	38-38-43-43-38-38-38	55'	5218 SF	6160 SF	85%	0'	0'	0'	3'
D	6-PLEX	30-43-43-43-43-38	55'	4674 SF	5498 SF	85%	0'	0'	0'	3'
E	8-PLEX	30-30-38-43-43-38-38-38	55'	5891 SF	6923 SF	85%	0'	0'	0'	3'
F	3-PLEX	43-43-38	55'	7406 SF	2851 SF	84%	0'	0'	0'	3'
G	7-PLEX	38-38-43-43-30-30-30	55'	4942 SF	5878 SF	84%	0'	0'	0'	3'
H	7-PLEX	38-38-43-43-43-38-30	55'	5318 SF	6469 SF	82%	0'	0'	0'	3'



TYPICAL SETBACKS

REVISIONS

NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/24
2	START COMMENTS	06/16/24
3	START COMMENTS	06/16/24
4	START COMMENTS	06/16/24
5	START COMMENTS FROM PREVIOUS	06/16/24

Wasted Rights
This Plan constitutes a Site Specific Development Plan as defined in Section 24-48-101, 41, reg. C.R.S., and Chapter 18 of the Superior Municipal Code, and is subject to the Superior Town Hall, 124 East Cold Creek Drive, Superior, Colorado. The term and other conditions of these wasted rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JAB	DATE: 06/16/24
DRAWN BY: CAL	SCALE: 1/8"=1'-0"
CHECKED BY: JAB	
JOB NO.: 225-003-04	
DWG NAME: BLOCK13_FDP2.DWG	

REMINGTON
URBAN VILLA
SITE PLAN

SHEET:
AR0.1



FRONT ELEVATION
3/16"=1'-0"



REAR ELEVATION
3/16"=1'-0"

COLOR SCHEME

BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER
BRICK VENEER	BRICK VENEER	BRICK VENEER

REVISIONS

NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	05/18/16
2	STAFF COMMENTS	06/15/16
3	STAFF COMMENTS	06/15/16
4	STAFF COMMENTS	07/28/16
5	STAFF COMMENTS - RISK MITIGATION	08/15/16

Yasutaka, Elizabeth
This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et. seq., C.R.S. and Chapter 18 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: QJL DATE: 05/03/2016
DRAWN BY: QJL SCALE: 3/16"=1'-0"
CHECKED BY: SK
JOB NO.:
DWG NAME:

BUILDING ELEVATIONS
6 UNIT BUILDING

AR2.1



REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	06/26/16
2	STAFF COMMENTS	06/27/16
3	STAFF COMMENTS	06/28/16
4	STAFF COMMENTS	06/28/16
5	STAFF COMMENTS (REVISION)	06/28/16

Vested Rights:
This Plan constitutes a Site Specific Development Plan as defined in Section 24-65-101, 41, 42, C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Goddard Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: JDL DATE: 05/02/2016
DRAWN BY: JDL SCALE: 3/16"=1'-0"
CHECKED BY: SK
JOB NO.:
DWG NAME:

BUILDING
ELEVATIONS
6 UNIT
BUILDING

AR2.2



Plan 30 Elev. 'A' Typ.



Plan 38 Elev. 'B' Typ.



Plan 43 Elev. 'C' Typ.

MAXIMUM BUILDING HEIGHT 55'-0"

SIDE ELEVATIONS
3/16"=1'-0"

COLOR SCHEME	
FASCIA, FRONT DOORS, ANGLED SUPPORTS	SW 7062 ROCK BOTTOM
LIGHT STUCCO	SW 9117 URBAN JUNGLE
MEDIUM STUCCO & MATCHING LAP SIDING	SW 6159 HIGH TEA
DARK STUCCO & MATCHING LAP SIDING	SW 6076 TURKISH COFFEE
GARAGE DOORS & SOME WINDOW BUMP OUTS	SW 7645 THUNDER GRAY
TRIM AROUND GARAGE DOORS	SW 9165 GOSSAMER VEIL

DAVIDSON COMMUNITIES BLOCK 13

TOTAL UNITS: 14
NOTE: TYPICAL PLOTTING SHOWN - ACTUAL PLOTTING SUBJECT TO CHANGE. IN FINAL PLOTTING, THE SAME FLOORPLAN & ELEVATION TO NOT BE LOCATED ON ADJACENT LOTS TO ENSURE DIVERSE STREET SCENE.

PLAN	FLOOR AREA (SF)	OVERALL HEIGHT (VARIES PER ELEVATION STYLE)	MAX PERMISSIBLE HEIGHT	LOT COVERAGE*	MINIMUM SETBACKS**		
					FRONT ***	SIDES	REAR
1	2227	37'-11" to 38'-3"	55'-0"	54.6%	5'	3'	3'
1 (4-STORY OPTION)	2595	44'-11" to 45'-7"	55'-0"	54.6%	5'	3'	3'
2	2391	37'-6" to 37'-11"	55'-0"	56.3%	5'	3'	3'
2 (4-STORY OPTION)	2812	45'-6"	55'-0"	56.3%	5'	3'	3'
3	2676	37'-8" to 38'-8"	55'-0"	62.6%	5'	3'	3'
3 (4-STORY OPTION)	3265	45'-9" to 46'-2"	55'-0"	62.6%	5'	3'	3'

* LOT COVERAGE INCLUDES GROUND FLOOR LIVING SPACE + GARAGE SPACE

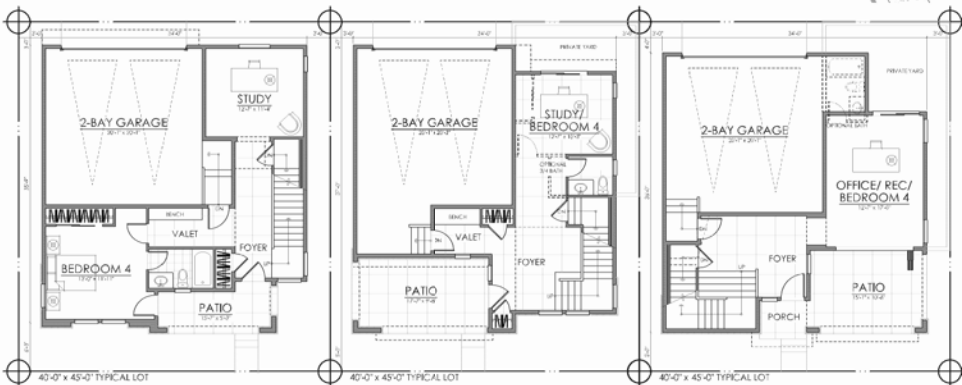
** SETBACKS SHOWN ARE AT GROUND LEVEL. ARCHITECTURAL FEATURES SUCH AS CANTILEVERS, ROOF OVERHANGS, BALCONIES, ETC. MAY PROJECT INTO THESE SETBACKS AS ALLOWED BY BUILDING AND FIRE CODES AND APPROVED BY CHIEF BUILDING OFFICIAL REMINGTON HOMES LOT

*** FOR THE HD, THE MINIMUM REQUIRED SETBACK ALONG SUPERIOR DRIVE IS 6'. THE MINIMUM REQUIRED SETBACK ALONG VILLAGE GREEN WAY IS 2'. THE PD DOES NOT PRESENT MINIMUM SIDE OR REAR SETBACKS.

UNIT TYPOLOGY IS SUPERIOR TOWN CENTER PD RESIDENTIAL TYPOLOGY H "VILLAS" NOTED UNITS EXCEED 2,400 SF AND AN EXCEPTION ALLOWING LARGER UNIT SIZES IS APPROVED THROUGH THIS FDP FOR BLOCK 13.

SITE LEGEND:

- FDP LIMIT LINES
- REMINGTON HOMES LOT
- PRIVATE LANE



TYPICAL PLOTTING EXHIBIT
1/8" = 1'-0"



NOTE: FOOTPRINTS SHOWN ARE TYPICAL - FINAL BUILDING FOOTPRINTS WILL VARY.



SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)

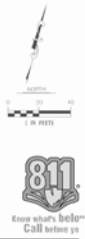
REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/20/24
2	START COMMENTS	06/20/24
3	START COMMENTS	06/20/24
4	START COMMENTS	06/20/24
5	START COMMENTS	06/20/24

Visited Site
This Plan constitutes a Site Specific Development Plan as defined in Section 24-488-101, et. seq., C.R.S. and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vertical rights are further described in the development agreement dated March 11, 2015.

DESIGNED BY: _____ DATE: 06/20/24
DRAWN BY: _____ SCALE: _____
CHECKED BY: _____
JOB NO.: 2503358
DWG NAME: _____

REMINGTON SF
SITE PLAN AND
PLOTTING

SHEET
AD0.1





FRONT ELEVATION A
3/16" = 1'-0"



FRONT ELEVATION B
3/16" = 1'-0"



FRONT ELEVATION C
3/16" = 1'-0"

NOTE: ELEVATION VARIATIONS AS ILLUSTRATED IN EXHIBIT B FOR REMINGTON HOMES ARE ALLOWED

** SETBACKS SHOWN ARE AT GROUND LEVEL. ARCHITECTURAL FEATURES SUCH AS CANTILEVERS, ROOF OVERHANGS, BALCONIES, ETC. MAY PROJECT INTO THESE SETBACKS AS ALLOWED BY BUILDING AND FIRE CODES AND APPROVED BY CHIEF BUILDING OFFICIAL REMINGTON HOMES LOT
 *** FOR THE PD, THE MINIMUM REQUIRED SETBACK ALONG SUPERIOR DRIVE IS 6'. THE MINIMUM REQUIRED SETBACK ALONG VILLAGE GREEN WAY IS 2'. THE PD DOES NOT PRESENT MINIMUM SIZE OF HOME SETBACKS.



FRONT ELEVATION A (4-STORY OPT)
3/16" = 1'-0"



FRONT ELEVATION B (4-STORY OPT)
3/16" = 1'-0"



FRONT ELEVATION C (4-STORY OPT)
3/16" = 1'-0"

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)

REVISIONS		
NO.	DESCRIPTION	DATE
1	STAFF COMMENTS	08/14/18
2	STAFF COMMENTS	08/26/18
3	STAFF COMMENTS	09/06/18
4	STAFF COMMENTS	09/26/18
5	STAFF COMMENTS	10/17/18

Wasted Rights
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et. seq., C.S., and Chapter 16 of the Superior Municipal Code, neither of the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: _____ DATE: 08/01/18
 DRAWN BY: _____ SCALE: _____
 CHECKED BY: _____
 JOB NO.: 18031308
 DWG NAME: _____

**PLAN ONE
 FRONT
 ELEVATIONS**



SHEET: **AD1.1**

NOTE: ELEVATION VARIATIONS AS ILLUSTRATED IN EXHIBIT B FOR REMINGTON HOMES ARE ALLOWED



FRONT ELEVATION A
3/16" = 1'-0"



FRONT ELEVATION B
3/16" = 1'-0"



FRONT ELEVATION C
3/16" = 1'-0"

** SETBACKS SHOWN ARE AT GROUND LEVEL. ARCHITECTURAL FEATURES SUCH AS CANTILEVERS, ROOF OVERHANGS, BALCONIES, ETC. MAY PROJECT INTO THESE SETBACKS AS ALLOWED BY BUILDING AND FIRE CODES AND APPROVED BY CHIEF BUILDING OFFICIAL REMINGTON HOMES LOT
 *** FOR THE PD, THE MINIMUM REQUIRED SETBACK ALONG SUPERIOR DRIVE IS 6'. THE MINIMUM REQUIRED SETBACK ALONG VILLAGE GREEN WAY IS 2'. THE PD BOSS DOES NOT PRESENT MINIMUM SIDE OR REAR SETBACKS.



FRONT ELEVATION A (4-STORY OPT)
3/16" = 1'-0"



FRONT ELEVATION B (4-STORY OPT)
3/16" = 1'-0"



FRONT ELEVATION C (4-STORY OPT)
3/16" = 1'-0"

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	10/20/24
2	START COMMENTS	10/20/24
3	START COMMENTS	10/20/24
4	START COMMENTS	10/20/24
5	START COMMENTS REVISIONS	10/20/24

Yielded Rights
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-121, et. seq., C.R.S. and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cold Creek Drive, Superior, Colorado. The terms and other conditions of these yielded rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: _____ DATE: 05/21/16
 DRAWN BY: _____ SCALE: _____
 CHECKED BY: _____
 JOB NO.: 0501358
 DWG NAME: _____

**PLAN TWO
 FRONT
 ELEVATIONS**



SHEET: **AD2.1**

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)

REVISIONS		
NO.	DESCRIPTION	DATE
1	STAY COMMENTS	05/18/24
2	STAY COMMENTS	06/20/24
3	STAY COMMENTS	06/14/24
4	STAY COMMENTS	03/29/24
5	STAY COMMENTS METAL RAILING	08/13/24

Noted: Signage
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado, the term and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: _____ DATE: 05/07/16
 DRAWN BY: _____ SCALE: _____
 CHECKED BY: _____
 JOB NO.: 0503358
 DWG NAME: _____

PLAN THREE
FRONT ELEVATIONS

SHEET: **AD3.1**



FRONT ELEVATION A
 3/16" = 1'-0"

** SETBACKS SHOWN ARE AT GROUND LEVEL. ARCHITECTURAL FEATURES SUCH AS CANTILEVERS, ROOF OVERHANGS, BALCONIES, ETC. MAY PROJECT INTO THESE SETBACKS AS ALLOWED BY BUILDING AND FIRE CODES AND APPROVED BY CHIEF BUILDING OFFICIAL REMINGTON HOMES LOT
 *** PER THE FID, THE MINIMUM REQUIRED SETBACK ALONG SUPERIOR DRIVE IS 6'. THE MINIMUM REQUIRED SETBACK ALONG VILLAGE GREEN WAY IS 2'. THE FID DOES NOT PRESENT MINIMUM SIDE OR REAR SETBACKS.



FRONT ELEVATION B
 3/16" = 1'-0"



FRONT ELEVATION C
 3/16" = 1'-0"

NOTE: ELEVATION VARIATIONS AS ILLUSTRATED IN EXHIBIT B FOR REMINGTON HOMES ARE ALLOWED



FRONT ELEVATION A (4-STORY OPT)
 3/16" = 1'-0"



FRONT ELEVATION B (4-STORY OPT)
 3/16" = 1'-0"

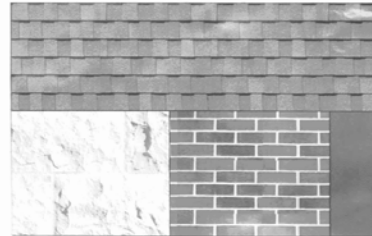


FRONT ELEVATION C (4-STORY OPT)
 3/16" = 1'-0"

**MAIN COLORS
(SHERWIN WILLIAMS)**



MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD
2. STONE VENEER
EL DORADO
SERRA CUT
3. BRICK VENEER
SUMMIT BRICK
ONYX SMOOTH
4. WINDOWS
PREMIUM VINYL
ESPRESSO

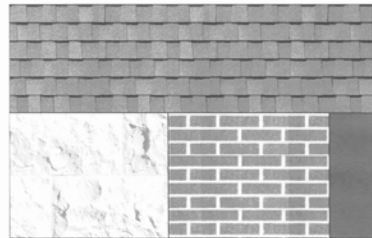
COLOR AND MATERIAL SCHEME 1

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

**MAIN COLORS
(SHERWIN WILLIAMS)**



MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD
2. STONE VENEER
EL DORADO
SERRA CUT
3. BRICK VENEER
SUMMIT BRICK
ANDROM
4. WINDOWS
PREMIUM VINYL
ESPRESSO

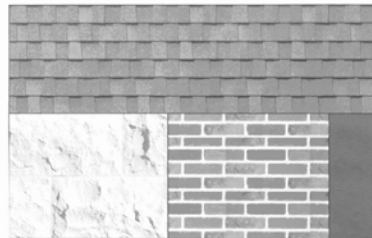
COLOR AND MATERIAL SCHEME 2

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

**MAIN COLORS
(SHERWIN WILLIAMS)**



MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD
2. STONE VENEER
EL DORADO
SERRA CUT
3. BRICK VENEER
SUMMIT BRICK
LANDMARK
4. WINDOWS
PREMIUM VINYL
ESPRESSO

COLOR AND MATERIAL SCHEME 3

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

ROOF TRE: TAMKO
PAINT: SHERWIN WILLIAMS
MATERIALS: TAMKO, SERRA CUT, ONYX SMOOTH, LANDMARK

STONE VENEER: EL DORADO
CIRCUIT: CIRCO
BRICK VENEER: SUMMIT

	COLOR SCHEMES									
	1	2	3	4	5	6	7	8	9	10
PLAN ELEVATION	1A	1B	1C	2A	2B	2C	3A	3B	3C	
COMP ROOF	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD	WEATHERED WOOD
8" HORIZONTAL SIDING	SW 7013 GREY LACE	SW 7014 BLACK TRIM	SW 7013 WEB GRAY	SW 7013 LANDMARK GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY
4" HORIZONTAL SIDING	SW 7013 GREY LACE	SW 7014 BLACK TRIM	SW 7013 WEB GRAY	SW 7013 LANDMARK GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY
FASCIA	SW 7013 GREY LACE	SW 7014 BLACK TRIM	SW 7013 WEB GRAY	SW 7013 LANDMARK GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY
GARAGE DOOR	SW 7013 GREY LACE	SW 7014 BLACK TRIM	SW 7013 WEB GRAY	SW 7013 LANDMARK GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY
ENTRY DOOR	SW 7013 GREY LACE	SW 7014 BLACK TRIM	SW 7013 WEB GRAY	SW 7013 LANDMARK GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY	SW 7013 WEB GRAY
BRICK VENEER	LAKWOOD PLANK ONYX SMOOTH	SUMMIT PLANK ANDROM	LAKWOOD PLANK LANDMARK	SUMMIT PLANK ANDROM	LAKWOOD PLANK LANDMARK	LAKWOOD PLANK LANDMARK	LAKWOOD PLANK LANDMARK	LAKWOOD PLANK LANDMARK	LAKWOOD PLANK LANDMARK	SUMMIT PLANK ANDROM
STONE VENEER	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE	HERACEDIA MICHAMBLE
STONE GIRDT	LIGHT KHAKI	LIGHT KHAKI	LIGHT KHAKI	LIGHT KHAKI	LIGHT KHAKI	LIGHT KHAKI	LIGHT KHAKI	LIGHT KHAKI	LIGHT KHAKI	LIGHT KHAKI
F & G										
WINDOW FRAME	ESPRESSO	ESPRESSO	ESPRESSO	ESPRESSO	ESPRESSO	ESPRESSO	ESPRESSO	ESPRESSO	ESPRESSO	ESPRESSO



Woodley Architectural Group, Inc.
 Colorado // 311 Southpark Dr. Suite 8
 Wheat, CO 80120 // 303.683.7231
 California // 2943 Lyburn Dr. Suite A
 North York, CO 80501 // 719.525.8919

SUPERIOR TOWN CENTER
 FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)

REVISIONS		
NO.	DESCRIPTION	DATE
1	START COMMENTS	06/16/24
2	START COMMENTS	06/16/24
3	START COMMENTS	06/16/24
4	START COMMENTS	07/09/24
5	START COMMENTS	08/19/24

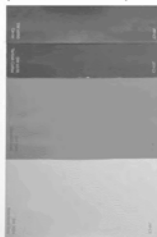
Initial Review:
 This Plan constitutes a Site Specific Development Plan as defined in Section 24-68-101, et. seq., C.R.S., and Chapter 16 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Cog Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the design/development agreement dated March 11, 2013.

DESIGNED BY: _____ DATE: 05/01/24
 DRAWN BY: _____ SCALE: _____
 CHECKED BY: _____
 FOR NO. 20241201
 DWG NAME: _____

COLOR AND MATERIAL SCHEMES - 1

SHEET: AD4.1

**MAIN COLORS
(SHERWIN WILLIAMS)**



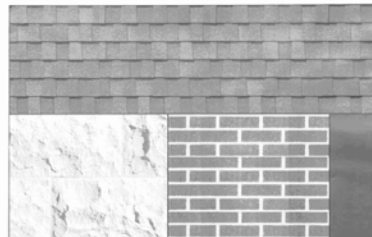
FRONT DOOR
SW 4990
CAYMAN

FASCIA/GARAGE DOOR/TRIM
SW 6076
TURKISH COFFEE

4" SIDING
SW 7019
GAUNTLET GRAY

8" SIDING
SW 7024
FUNCTIONAL GRAY

MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD

2. STONE VENEER
EL DORADO
SIERRA CUT

3. BRICK VENEER
SUMMIT BRICK
ANDIRON

4. WINDOWS
PREMIUM VINYL
ESPRESSO

COLOR AND MATERIAL SCHEME 4

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

**MAIN COLORS
(SHERWIN WILLIAMS)**



FRONT DOOR
SW 4271
ONYX WHITE

FASCIA/GARAGE DOOR/TRIM
SW 7566
WEBSTERHEAD WHITE

4" SIDING
SW 7566
WEBSTERHEAD WHITE

8" SIDING
SW 7566
WEBSTERHEAD WHITE

MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD

2. STONE VENEER
EL DORADO
SIERRA CUT

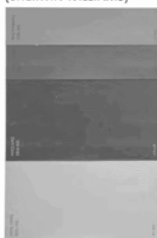
3. BRICK VENEER
SUMMIT BRICK
LANEMARK

4. WINDOWS
PREMIUM VINYL
ESPRESSO

COLOR AND MATERIAL SCHEME 5

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

**MAIN COLORS
(SHERWIN WILLIAMS)**



FRONT DOOR
SW 7622
HOMBURG GRAY

FASCIA/GARAGE DOOR/TRIM
SW 7048
URBANE BRONZE

4" SIDING
SW 7182
DARK CLOVE

8" SIDING
SW 7528
TAVERN TAUPE

MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD

2. STONE VENEER
EL DORADO
SIERRA CUT

3. BRICK VENEER
SUMMIT BRICK
IRON MOUNTAIN

4. WINDOWS
PREMIUM VINYL
ESPRESSO

COLOR AND MATERIAL SCHEME 6

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

**MAIN COLORS
(SHERWIN WILLIAMS)**



FRONT DOOR
SW 7412
GREEN TEA OLIVE

FASCIA/GARAGE DOOR/TRIM
SW 7048
URBANE BRONZE

4" SIDING
SW 7048
URBANE BRONZE

8" SIDING
SW 7024
FUNCTIONAL GRAY

MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD

2. STONE VENEER
EL DORADO
SIERRA CUT

3. BRICK VENEER
SUMMIT BRICK
IRON MOUNTAIN

4. WINDOWS
PREMIUM VINYL
ESPRESSO

COLOR AND MATERIAL SCHEME 7

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

**MAIN COLORS
(SHERWIN WILLIAMS)**



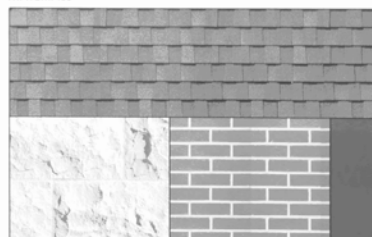
FRONT DOOR
SW 9100
AMBER NUTS

FASCIA/GARAGE DOOR/TRIM
SW 4083
SABLE

4" SIDING
SW 1061
PORPOISE

8" SIDING
SW 7046
ANONYMOUS

MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD

2. STONE VENEER
EL DORADO
SIERRA CUT

3. BRICK VENEER
SUMMIT BRICK
PLUM GRAIN

4. WINDOWS
PREMIUM VINYL
ESPRESSO

COLOR AND MATERIAL SCHEME 8

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

**MAIN COLORS
(SHERWIN WILLIAMS)**



FRONT DOOR
SW 7726
LEMON VERBENA

FASCIA/GARAGE DOOR/TRIM
SW 1027
WELL-BRED BROWN

4" SIDING
SW 7325
BARCELONA BEIGE

8" SIDING
SW 7521
GREEK VILLA

MATERIALS



1. ROOF
TAMKO
WEATHERED WOOD

2. STONE VENEER
EL DORADO
SIERRA CUT

3. BRICK VENEER
SUMMIT BRICK
ANDIRON

4. WINDOWS
PREMIUM VINYL
ESPRESSO

COLOR AND MATERIAL SCHEME 9

(FOR REFERENCE ONLY, PLEASE REFER TO ACTUAL MATERIAL BOARDS FOR MOST ACCURATE COLOR)

SUPERIOR TOWN CENTER
FDP 2 (BLOCK 13) & FDP 3 PHASE 1 (PARTIAL BLOCK 25)

REVISIONS		
NO.	DESCRIPTION	DATE
1	SWI COMMENTS	WJL/JS
2	SWI COMMENTS	WJL/JS
3	SWI COMMENTS	WJL/JS
3	SWI COMMENTS	WJL/JS

Issued 02/21/25

This plan complies with the Site Specific Development Plan as defined in Section 24-68-101, et. seq., C.P.S., and Chapter 19 of the Superior Municipal Code, available at the Superior Town Hall, 124 East Coal Creek Drive, Superior, Colorado. The terms and other conditions of these vested rights are further described in the development agreement dated March 11, 2013.

DESIGNED BY: _____ DATE: 02/21/25
DRAWN BY: _____ SCALE: _____
CHECKED BY: _____
JOB NO.: 2023129
DWG NAME: _____

COLOR AND MATERIAL SCHEMES - 2

SHEET: **AD4.2**